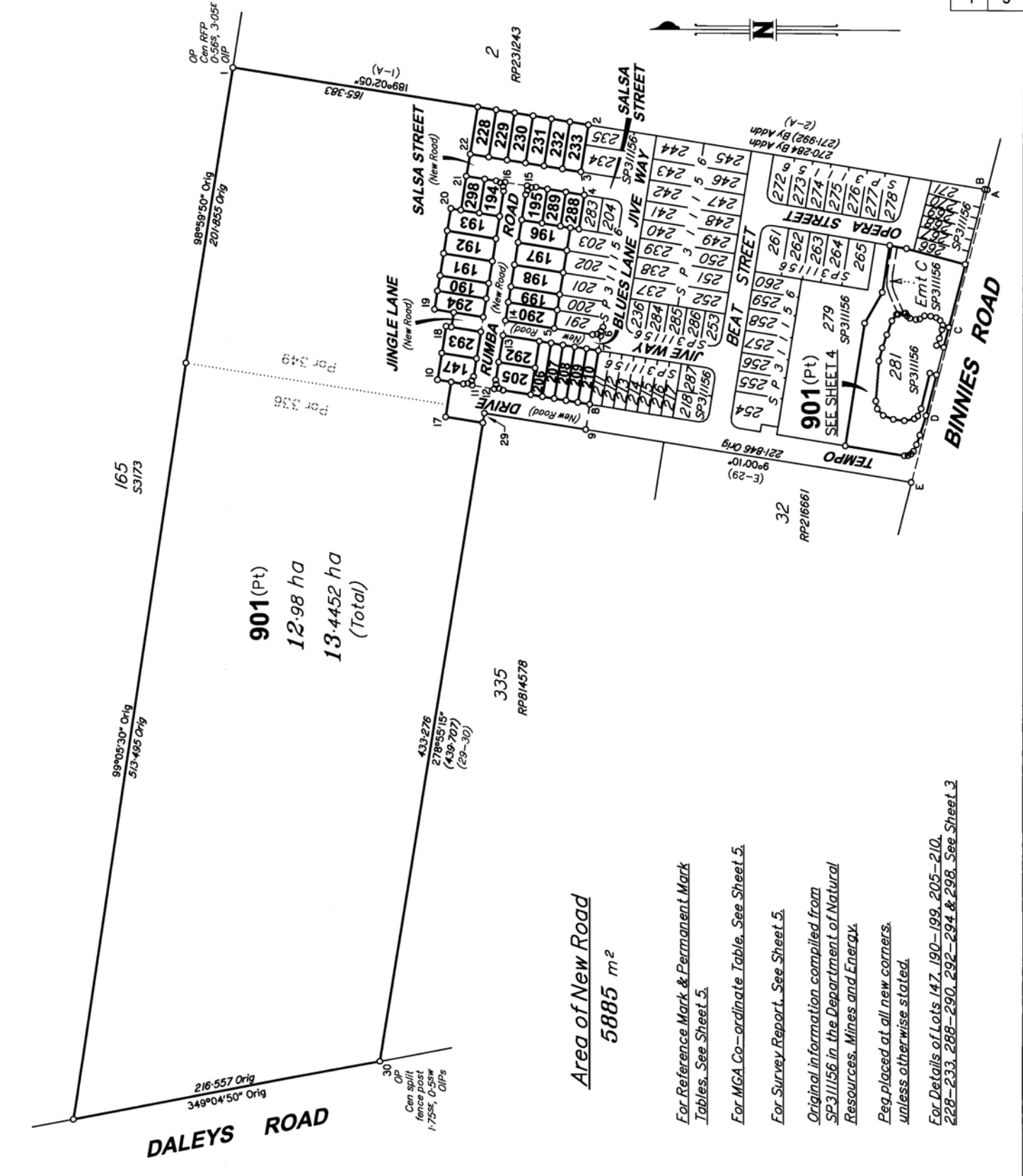


Land Title Act 1994 ; Land Act 1994
Form 21 Version 4

SURVEY PLAN

Sheet 1 of 5



901 (Pt)
12.98 ha
13.4452 ha
(Total)

Area of New Road
5885 m²

For Reference Mark & Permanent Mark Tables, See Sheet 5.

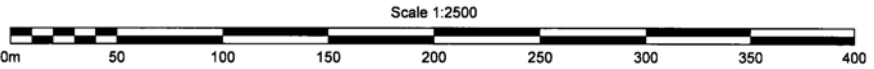
For MGA Co-ordinate Table, See Sheet 5.

For Survey Report, See Sheet 5.

Original information compiled from SP311156 in the Department of Natural Resources, Mines and Energy.

Peg placed at all new corners, unless otherwise stated.

For Details of Lots 147, 190-199, 205-210, 228-233, 288-290, 292-294 & 298, See Sheet 3



B.B.H. PTY. LTD. (ACN 010 427 531) (trading as Bennett and Bennett Group) hereby certify that the land comprised in this plan was surveyed by the corporation, by Maurice William Ford, Surveying Associate, for whose work the corporation accepts responsibility, under the supervision of Jeremy James Hammant, Cadastral Surveyor, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 24/10/2020.

The COMMONWEALTH OF AUSTRALIA
B.B.H. PTY. LTD. A.C.N. 010 427 531
Director
[Signature]
Director
25/10/2020
Date

Plan of Lots 147, 190-199, 205-210, 228-233, 288-290, 292-294, 298 & 901

Cancelling Lot 900 on SP311156

LOCAL GOVERNMENT:
IPSWICH CITY COUNCIL

LOCALITY:
RIPLEY

Meridian: **MGA Zone 56 vide GNSS**

Survey Records: **No**

Scale: **1:2500**
Format: **STANDARD**



SP311157

Bennett + Bennett 08070_019_SFP.DWG JEK 14/07/2020

**WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.**

720358065

\$3583.00
28/10/2020 14:23

BE 400 NT

5. Lodged by

HWL EBSMORTH LAWYERS
Ref: JSE: KKB: KWM: 877226

88A

(Include address, phone number, reference, and Lodger Code)

1. Certificate of Registered Owners or Lessees.

1/We AVJENNINGS PROPERTIES LIMITED
A.C.N. 004 601 503

(Names in full)

* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

~~* as Lessees of this land agree to this plan.~~

Signature of *Registered Owners ~~*Lessees~~

6. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
51232511	Lot 900 on SP311156	147, 190-199, 205-210, 228-233, 288-290, 292-294, 298 & 901	New Rd	

MORTGAGE ALLOCATIONS

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
718923753	147, 190-199, 205-210, 228-233, 288-290, 292-294, 298 & 901	

ENCUMBRANCE EASEMENT ALLOCATIONS

Easement	Lots to be Encumbered
720325905 (Emt C on SP311156)	901

* Rule out whichever is inapplicable

2. Planning Body Approval. **IPSWICH CITY COUNCIL**

* *As delegate for Economic Development Aid*
hereby approves this plan in accordance with the:

%

Economic Development Act 2012

Dated this 26th day of October 2020

D. Dickson #
#

**Authorised Local
Government Officer**

* Insert the name of the Planning Body.
Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement :

CMS Number :
Name :

4. References :

Dept File :
Local Govt : 2834/19/ISSP/18
Surveyor : 08070

7. Orig Grant Allocation :

8. Passed & Endorsed :

By: B.B.H. PTY LTD ACN 010 427 531
Date: 25-9-2020
Signed: *[Signature]*
Designation: Cadastral Surveyor/Director

9. Building Format Plans only.

I certify that :
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.
* Part of the building shown on this plan encroaches onto adjoining * lots and road

Cadastral Surveyor/Director * Date
* delete words not required

10. Lodgement Fees :

Survey Deposit \$
Lodgement \$
..... New Titles \$
Photocopy \$
Postage \$
TOTAL \$

11. Insert Plan Number
SP311157

Legend

Denotes concrete sleeper retaining wall

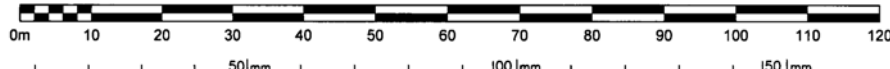


JINGLE LANE
(New Road)

147
421 m²

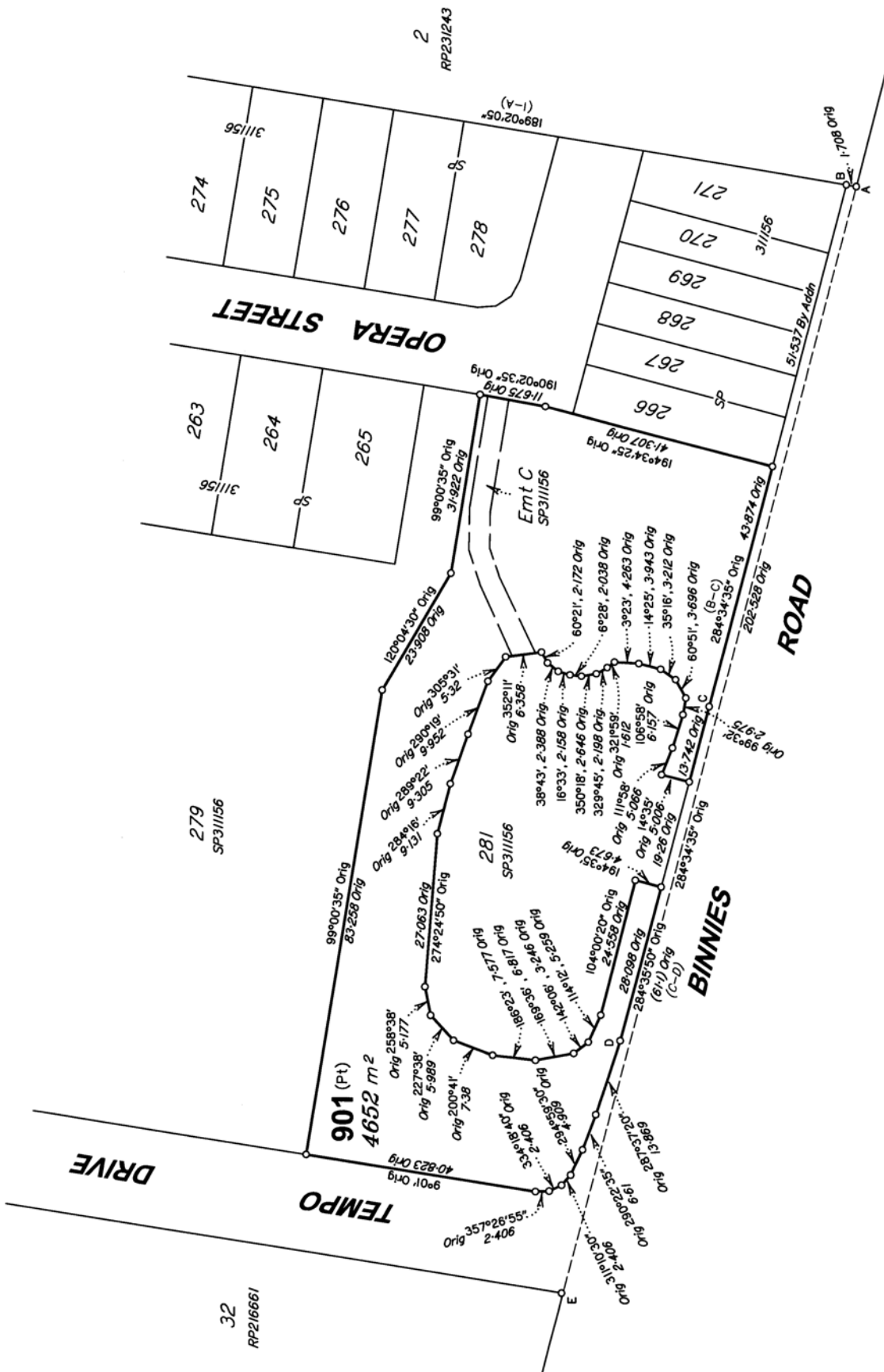


Scale 1:750



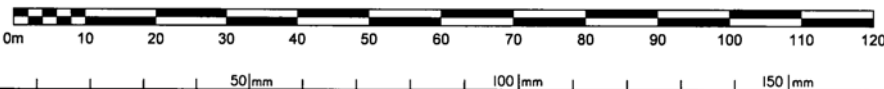
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Insert Plan Number **SP311157**



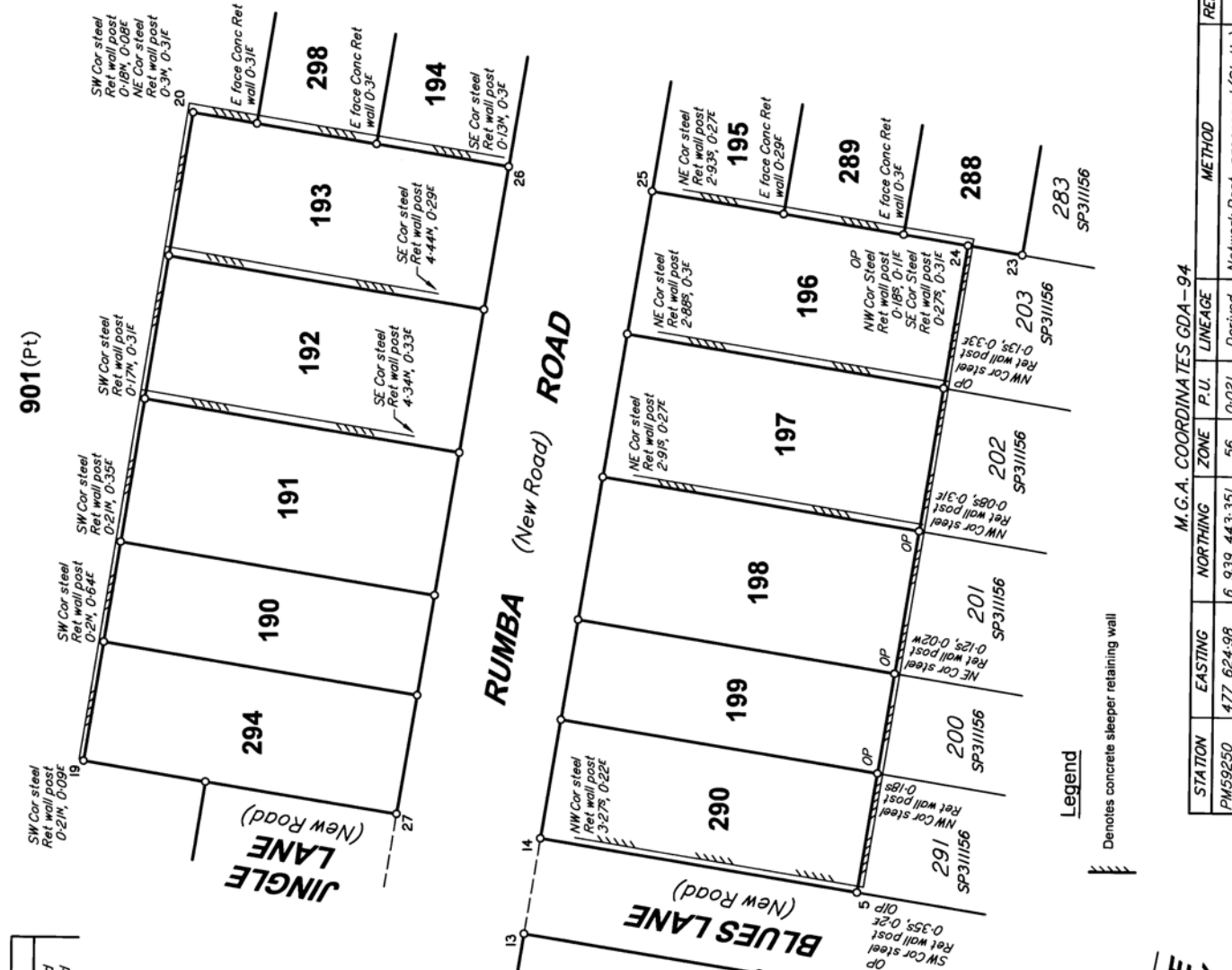
32
RP2/16661

Scale 1:750



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Insert Plan Number
SP311157



PM	ORIGIN	BEARING	DIST	NO	TYPE
8-PM		189°08'20"	222-409	59234	Standard
12-PM		308°41'	5-495	59250	Standard

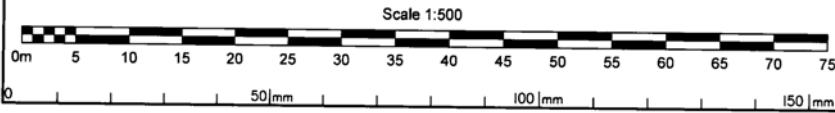
STN	TO	ORIGIN	BEARING	DIST
1	OIP	19/1S272876	88°44'10"	2-915
3	O Screw in Kb	39/SP311156	269°38'30"	3-698
5	OIP	15/SP311156	41°17'40"	30-657
6	O Screw in Conc	14/SP311156	135°45'	4-704
7	O Screw in Conc	13/SP311156	213°01'	8-118
8	O Screw in Kb	35/SP311156	276°36'30"	8-002
11	Screw in Conc		232°43'	6-39
12	Screw in Conc		271°53'	4-506
14	Screw in Kb		323°36'	5-606
15	I Pin		330°12'	4-421
15	Screw in Kb		37°31'	4-204
15	Screw in Kb		87°04'	1-444
16	I Pin		157°03'	2-353
16	Screw in Kb		121°16'	1-535
21	Screw in Kb		114°01'	2-25
22	Screw in Kb		271°21'	3-714
27	Screw in Kb		227°01'	3-677
27	Screw in Conc		136°47'	4-094
29	Screw in Kb		214°39'	1-085
29	OIP	12/SP311156	5-191	5-191
30	OIP	19/1S283491	180°52'	0-963
30	OIP	19/1S283491	323°02'	3-638

Survey Report
Original marks placed and referenced on IS283491 and SP311156 were used to restate the external subject boundaries on this plan. All marks & dimensions were in agreement with the aforementioned plans.

STATION	EASTING	NORTHING	ZONE	P.U.	LINEAGE	METHOD	REMARKS
PM59250	477 624-98	6 939 443-351	56	0-021	Derived	Network Post—processed (Static)	
PM59234	477 583-842	6 939 156-578	56	0-02	Derived	Network Post—processed (Static)	

M.G.A. COORDINATES GDA—94

Legend
Denotes concrete sleeper retaining wall



Insert Plan Number **SP311157**

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