

Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 2834/19/MAPDA/B

Date: 3 May 2022



NOTES

General

- All development is to be undertaken in accordance with the development approval.
- The maximum height of the building shall not exceed 9 metres.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise noted on the Building Envelope Plan.
- Setbacks are measure to the wall of the dwelling or edge of balcony.
- The location of built to boundary walls are nominated on the Plan of Development.
- Where built to boundary walls are not implemented side setbacks shall be adopted in accordance with the Plan of Development Table.
- Maximum length of built to boundary wall shall be 75% of the boundary length and have a maximum height of 4 metres.
OR
Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of 75% of the boundary length and a maximum height of 9m on boundaries shared with another Terrace and Premium Terrace lot.
- All exposed sections of built-to-boundary walls are to be finished with a quality cladding complimentary to the overall home design.
- Eaves, hoods, screens, and architectural elements may extend 1 metre within nominated setback or to a minimum of 450mm from the boundary, whichever is the lesser (except for built to boundary walls). Gutters and downpipes must not extend past the property boundary.

Parking and Driveways

- A minimum of 2 car spaces per dwelling, at least 1 of which is enclosed.
- There is to be a maximum of 1 driveway per dwelling except for corner lots.
- Direct car access for Terrace and Premium Terrace Lots are to be located as per the location shown on the Plan of Development.

Site Cover and Amenity

- Site cover is as per the Plan of Development Table.
- (a) Private open space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3 metres.
(b) Patios and covered outdoor living spaces or recreation areas are included in the private open space requirements.
- Dwellings with their main living above ground must have a minimum area of private open space of at least
 - 8sqm / 1 bedroom with a minimum dimension of 2 metres
 - 12sqm / 2 bedroom with a minimum dimension of 2.5 metres
 - 15sqm / 3 bedroom with a minimum dimension of 3 metres

Fencing

- Primary street frontage fencing to be minimum 50% transparent with a maximum height of 1.2 metres.
- Secondary street frontage to be at least 25% transparent with a maximum height of 1.8 metres.
- Fencing to all side and rear boundaries to be a maximum height of 1.8 metres.
- Park front fencing to be at least 50% transparent with a maximum height of 1.8 metres.

Building Design

- All dwellings are to have a window or balcony from a habitable room overlooking the street and/or private open space.
- Garages must not project forward of the front building facade.
- Garage door width is to be a maximum of 6 metres or 50% of the width of lot at the garage setback facade whichever is the lesser (except rear lane dwelling).
- Refuse bins are to be screened from view.
- A directly facing habitable room window within 3 metres of a neighbouring dwelling, park or footpath must have
 - A fixed obscure glazing in part of the window below 1.5 metres above floor levels; or
 - A privacy screen that covers a minimum of 50% of the window view.
- Where a direct view exists into the private open space of an adjoining dwelling, the outlook from windows, stairwells, terraces, decks and other private, communal or public areas, is obscured or screened by privacy screens, with maximum permeability of 50%.

Definition

- Building Height**
means the vertical distance between natural surface level of the ground and the apex of a building's roof, but not including antennas or flues.
- Secondary Street Frontage**
is the lot boundary with the greater length
- Site Cover**
the proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.
- The term does not include:
- any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure
 - eaves, screens and sun shading devices.

Setbacks to PMT sites are to be in accordance with any easement requirements

| PLAN OF DEVELOPMENT | | | | | | | | | | | | |
|--|--------------|-------------|--------------|-------------|--------------|-------------|-------------------|-------------|---------------|-------------|--------------|-------------|
| | Terrace Lot | | Cottage Lot | | Villa Lot | | Premium Villa Lot | | Courtyard Lot | | Duplex Lot | |
| | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor |
| Primary Frontage | 2.5 | 2.5 | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 0.0 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback | | | | | | | | | | | | |
| Built to boundary | 0.0 | 0.0 | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 | 1.5 | 1.5 |
| Secondary Lane | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 1.0 | 1.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 1.0 | 1.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 | 1.5 | 1.5 |
| Rear Setback | | | | | | | | | | | | |
| Rear Boundary | 0.0 | 0.0 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover | | | | | | | | | | | | |
| Site Cover (Additional 10% of site cover is allowed for porches, patios, and covered outdoors) | 70 | | 65 | | 65 | | 60 | | 50 | | 60 | |

LEGEND

- BUILT TO BOUNDARY WALL
- BUILDING ENVELOPE
- STAGE BOUNDARY
- INDICATIVE OPEN SPACE
- ACOUSTIC CONSTRAINTS
- REAR TERRACE LOT ACCESS
- SECONDARY LANE

LOT TYPOLOGY

- TERRACE
- COTTAGE LOT
- VILLA
- PREMIUM VILLA
- COURTYARD LOT
- DUPLEX LOT

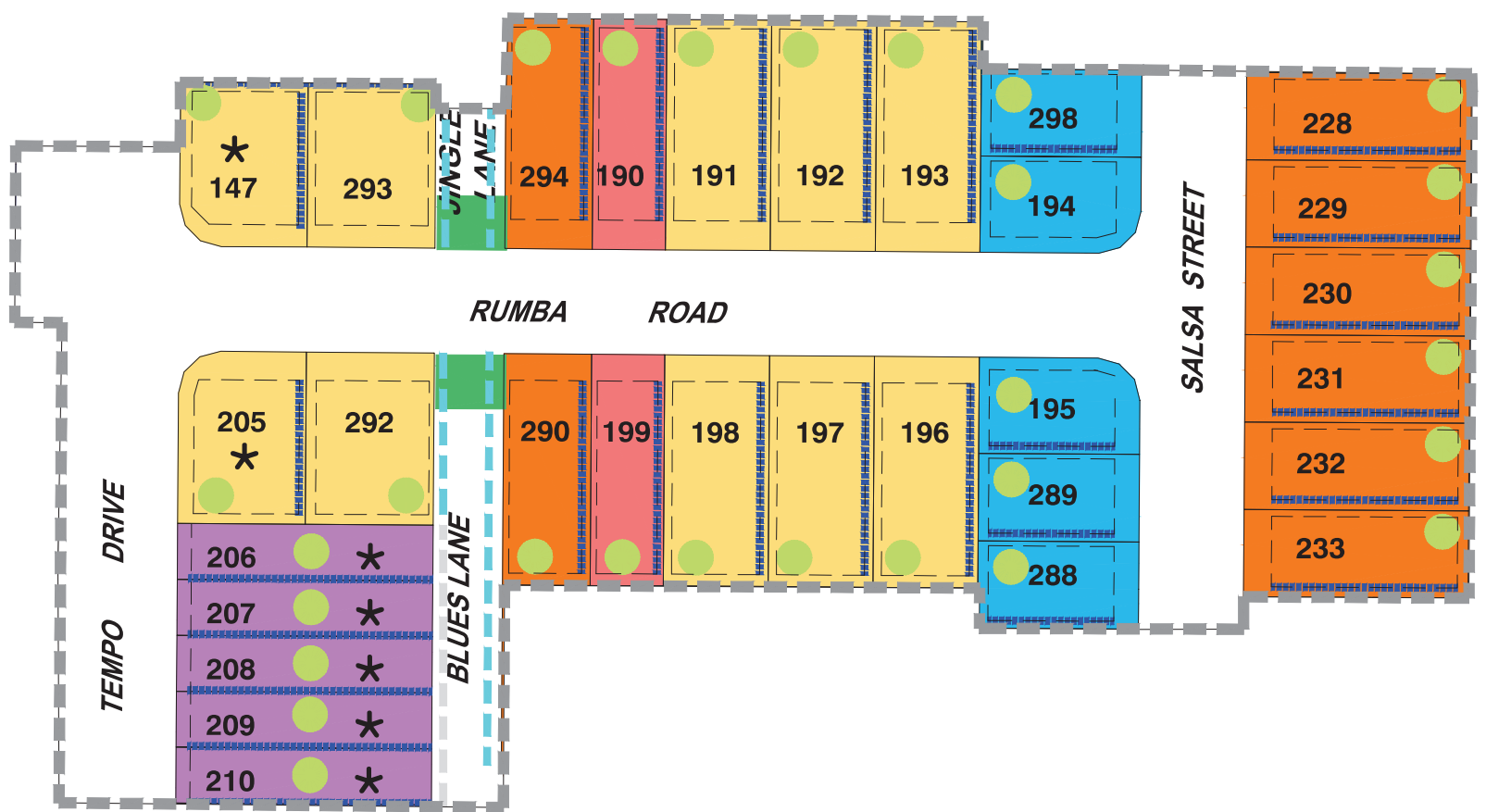
PLAN OF DEVELOPMENT - STAGE 1A



Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 2834/19/MAPDA/B

Date: 3 May 2022



NOTES

General

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Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of 75% of the boundary length and a maximum height of 9m on boundaries shared with another Terrace and Premium Terrace lot.
- All exposed sections of built-to-boundary walls are to be finished with a quality cladding complimentary to the overall home design.
- Eaves, hoods, screens, and architectural elements may extend 1 metre within nominated setback or to a minimum of 450mm from the boundary, whichever is the lesser (except for built to boundary walls). Gutters and downpipes must no extend past the property boundary.

Parking and Driveways

- A minimum of 2 car spaces per dwelling, at least 1 of which is enclosed.
- There is to be a maximum of 1 driveway per dwelling except for corner lots.
- Direct car access for Terrace and Premium Terrace Lots are to located as per the location shown on the Plan of Development.

Site Cover and Amenity

- Site cover is as per the Plan of Development Table.
- (a) Private open space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3 metres.
(b) Patios and covered outdoor living spaces or recreation areas are included in the private open space requirements.
- Dwellings with their main living above ground must have a minimum area of private open space of at least
 - 8sqm / 1 bedroom with a minimum dimension of 2 metres
 - 12sqm / 2 bedroom with a minimum dimension of 2.5 metres
 - 15sqm / 3 bedroom with a minimum dimension of 3 metres

Fencing

- Primary street frontage fencing to be minimum 50% transparent with a maximum height of 1.2 metres.
- Secondary street frontage to be at least 25% transparent with a maximum height of 1.8 metres.
- Fencing to all side and rear boundaries to be a maximum height of 1.8 metres.
- Park front fencing to be at least 50% transparent with a maximum height of 1.8 metres.

Building Design

- All dwellings are to have a window or balcony from a habitable room overlooking the street and/or private open space.
- Garages must not project forward of the front building facade.
- Garage door width is to be a maximum of 6 metres or 50% of the width of lot at the garage setback facade whichever is the lesser (except rear lane dwelling).
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Definition

Building Height
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Secondary Street Frontage
is the lot boundary with the greater length

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The term does not include:

- any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure
- eaves, screens and sun shading devices.

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| PLAN OF DEVELOPMENT | | | | | | | | | | |
|--|--------------|-------------|--------------|-------------|--------------|-------------|-------------------|-------------|---------------|-------------|
| | Terrace Lot | | Cottage Lot | | Villa Lot | | Premium Villa Lot | | Courtyard Lot | |
| | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor |
| Primary Frontage | 2.5 | 2.5 | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 0.0 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback | | | | | | | | | | |
| Built to boundary | 0.0 | 0.0 | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 1.0 | 1.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 1.0 | 1.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback | | | | | | | | | | |
| Rear Boundary | 0.0 | 0.0 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover | | | | | | | | | | |
| Site Cover (Additional 10% of site cover is allowed for porches, patios, and covered outdoors) | 70 | | 65 | | 65 | | 60 | | 50 | |

LEGEND

- BUILT TO BOUNDARY WALL
- BUILDING ENVELOPE
- STAGE BOUNDARY
- INDICATIVE OPEN SPACE
- ACOUSTIC CONSTRAINTS
- REAR TERRACE LOT ACCESS
- SECONDARY LANE

LOT TYPOLOGY

- TERRACE
- COTTAGE LOT
- VILLA
- PREMIUM VILLA
- COURTYARD LOT
- DUPLEX LOT

CLIENT: AVJennings

PROJECT NAME: BINNIES ROAD, RIPLEY

DRAWING: POD - STAGE 1B

PROJECT NO: 427400

DRAWING NO: SK02

SCALE: 1:500 @ A1, 1:1000 @ A3

DATE: 01/03/2022

DISCLAIMER: These drawings are conceptual design only. Calculation dependent upon successful resolution of future investigation areas not reducing developable land. The information contained herein is subject to design development and further input from independent planning, structural, services and other technical consultants. Lot size and site subject to change, depending on authority approvals.

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ABN 77 081 702 301

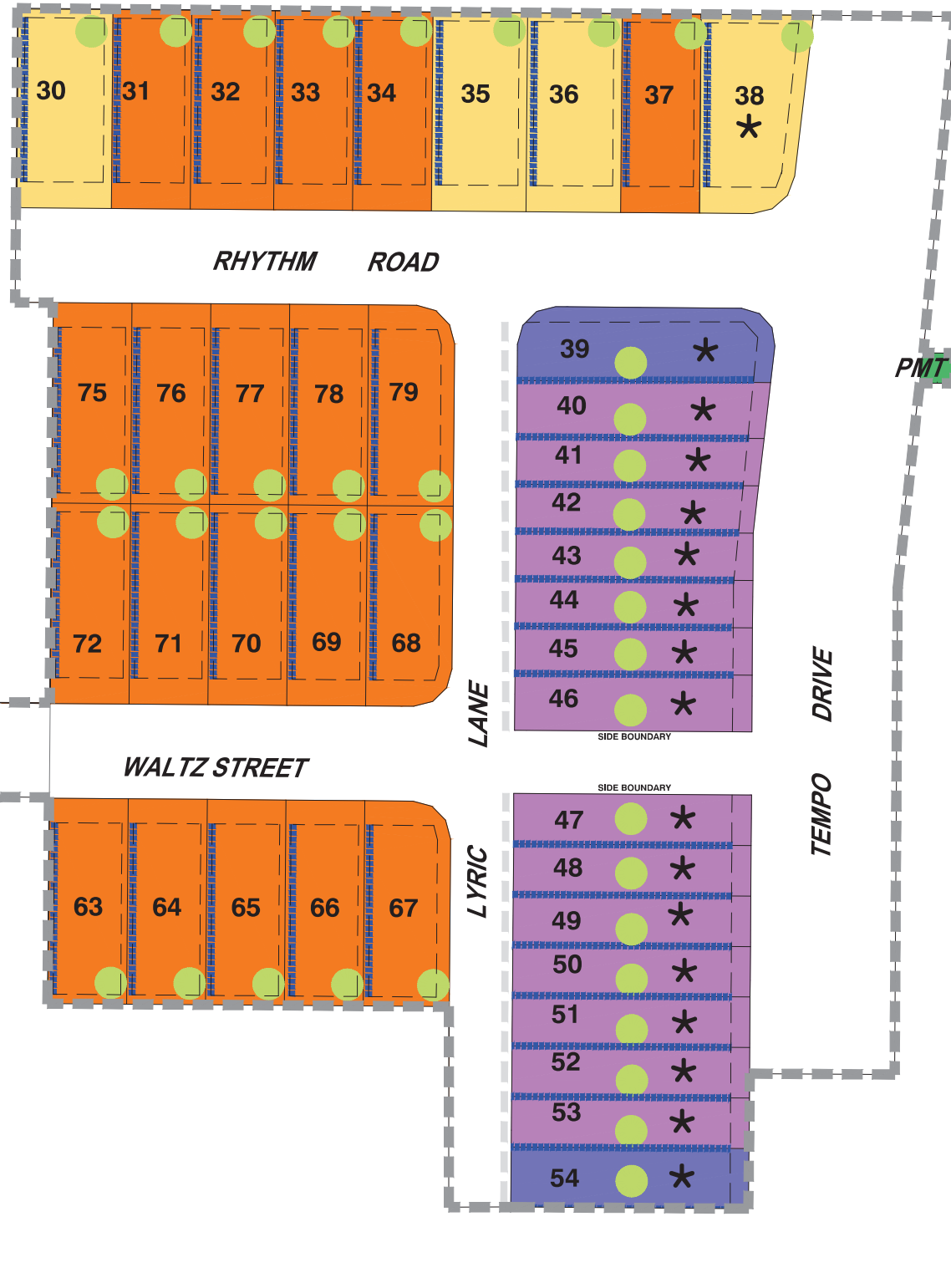
PLAN OF DEVELOPMENT - STAGE 1B



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Approval No.: 2834/19/MAPDA/B

Date: 3 May 2022



NOTES

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Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of 75% of the boundary length and a maximum height of 9m on boundaries shared with another Terrace and Premium Terrace lot.
- All exposed sections of built-to-boundary walls are to be finished with a quality cladding complimentary to the overall home design.
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Parking and Driveways

- A minimum of 2 car spaces per dwelling, at least 1 of which is enclosed.
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Site Cover and Amenity

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 - 8sqm / 1 bedroom with a minimum dimension of 2 metres
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 - 15sqm / 3 bedroom with a minimum dimension of 3 metres

Fencing

- Primary street frontage fencing to be minimum 50% transparent with a maximum height of 1.2 metres.
- Secondary street frontage to be at least 25% transparent with a maximum height of 1.8 metres.
- Fencing to all side and rear boundaries to be a maximum height of 1.8 metres.
- Park front fencing to be at least 50% transparent with a maximum height of 1.8 metres.

Building Design

- All dwellings are to have a window or balcony from a habitable room overlooking the street and/or private open space.
- Garages must not project forward of the front building facade.
- Garage door width is to be a maximum of 6 metres or 50% of the width of lot at the garage setback facade whichever is the lesser (except rear lane dwelling).
- Refuse bins are to be screened from view.
- A directly facing habitable room window within 3 metres of a neighbouring dwelling, park or footpath must have
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 - eaves, screens and sun shading devices.

Setbacks to PMT sites are to be in accordance with any easement requirements

PLAN OF DEVELOPMENT

| | Terrace Lot | | Premium Terrace Lot | | Premium Villa Lot | | Courtyard Lot | | Duplex Lot | |
|---|--------------|-------------|---------------------|-------------|-------------------|-------------|---------------|-------------|--------------|-------------|
| | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor |
| Primary Frontage | 2.5 | 2.5 | 2.5 | 2.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 0.0 | NA | 0.0 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback | | | | | | | | | | |
| Built to boundary | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.0 | 0.9 | 0.0 | 0.0 | 0.9 | 0.9 | 1.2 | 1.2 | 1.5 | 1.5 |
| Secondary Lane | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 1.0 | 1.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 1.0 | 1.0 | 2.0 | 2.0 | 0.9 | 0.9 | 1.2 | 1.2 | 1.5 | 1.5 |
| Rear Setback | | | | | | | | | | |
| Rear Boundary | 0.0 | 0.0 | 0.0 | 0.0 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover | | | | | | | | | | |
| Site Cover (Additional 10% of site cover is allowed for porches, patios, and covered outdoors) | 70 | | 70 | | 60 | | 50 | | 60 | |

LEGEND

- BUILT TO BOUNDARY WALL
- BUILDING ENVELOPE
- STAGE BOUNDARY
- INDICATIVE OPEN SPACE
- ACOUSTIC CONSTRAINTS
- REAR TERRACE LOT ACCESS
- SECONDARY LANE

LOT TYPOLOGY

- TERRACE
- PREMIUM TERRACE
- PREMIUM VILLA
- COURTYARD LOT
- DUPLEX LOT

CLIENT
AVJennings

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PROJECT NAME
BINNIES ROAD, RIPLEY

DRAWING
POD - STAGE 2A

PROJECT NO.
427400

DRAWING NO.
SK04

SCALE
1:500 @ A1
1:1000 @ A3

50 Peerless Ave
Mermaid Beach
QLD 4218
Phone: 07 5555 2600
Facsimile: 07 5526 8829
Email: bda@bdaarch.com.au
ABN 77 081 702 301

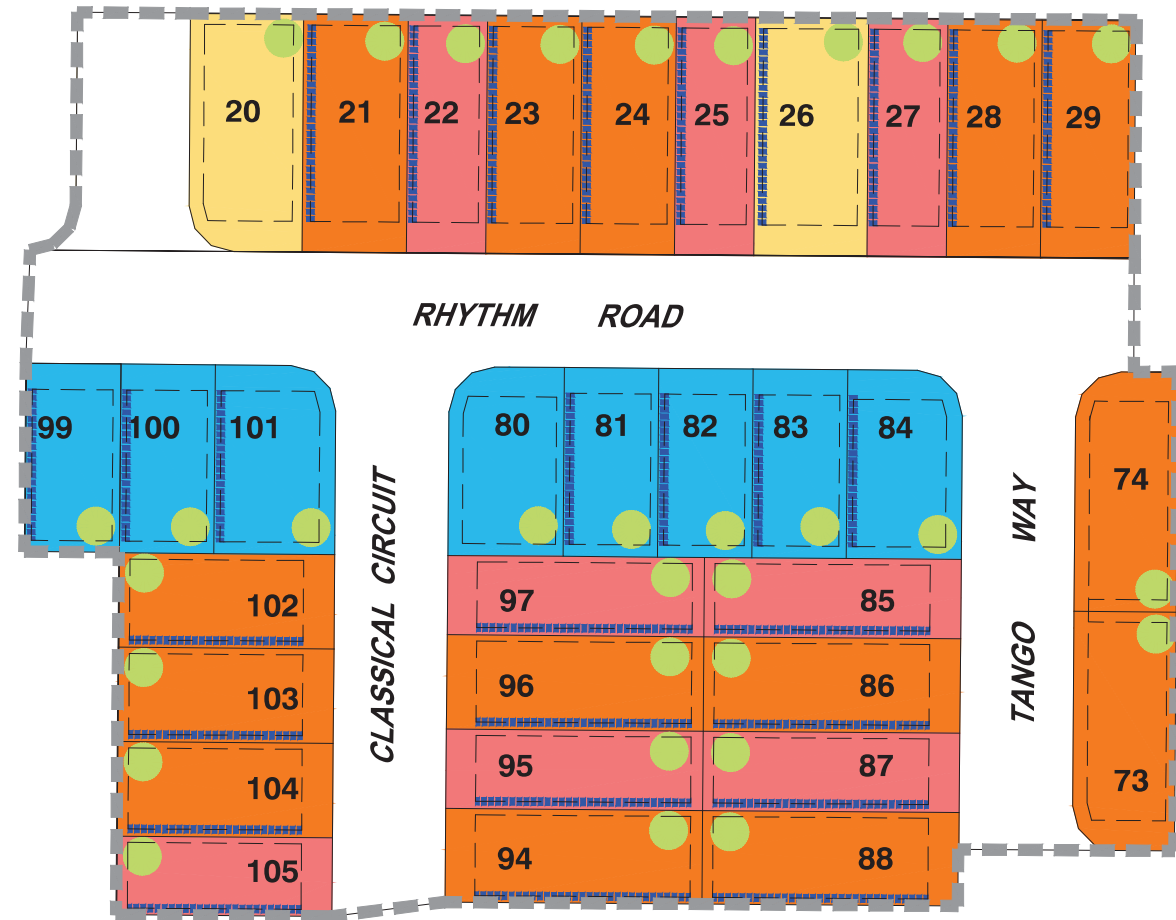
PLAN OF DEVELOPMENT - STAGE 2A



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Approval No.: 2834/19/MAPDA/B

Date: 3 May 2022



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 - 15sqm / 3 bedroom with a minimum dimension of 3 metres

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| PLAN OF DEVELOPMENT | | | | | | | | |
|--|--------------|-------------|--------------|-------------|-------------------|-------------|---------------|-------------|
| | Cottage Lot | | Villa Lot | | Premium Villa Lot | | Courtyard Lot | |
| | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor |
| Primary Frontage | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback | | | | | | | | |
| Built to boundary | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback | | | | | | | | |
| Rear Boundary | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover | | | | | | | | |
| Site Cover (Additional 10% of site cover is allowed for porches, patios, and covered outdoors) | 65 | | 65 | | 60 | | 50 | |

LEGEND

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- BUILDING ENVELOPE
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AVJennings

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PROJECT NAME
BINNIES ROAD, RIPLEY

DRAWING
POD - STAGE 2B

PROJECT NO. 427400 DRAWING NO. SK05 SCALE 1:500 @ A1 1:1000 @ A3

ISSUE
M

50 Peerless Ave
Mermaid Beach
QLD 4218
Phone: 07 5555 2600
Facsimile: 07 5526 8829
Email: bda@bdaarch.com.au
ABN 77 081 702 301

PLAN OF DEVELOPMENT - STAGE 2B



bda
architecture



Pursuant to the **Economic Development Act 2012**, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 2834/2019/MAPDA/
B
Date: 3 August 2022

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- Setbacks are measure to the wall of the dwelling or edge of balcony.
- The location of built to boundary walls are nominated on the Plan of Development.
- Where built to boundary walls are not implemented side setbacks shall be adopted in accordance with the Plan of Development Table.
- Maximum length of built to boundary wall shall be 75% of the boundary length and have a maximum height of 4 metres.
OR
Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of 75% of the boundary length and a maximum height of 9m on boundaries shared with another Terrace and Premium Terrace lot.
- All exposed sections of built-to-boundary walls are to be finished with a quality cladding complimentary to the overall home design.
- Eaves, hoods, screens, and architectural elements may extend 1 metre within nominated setback or to a minimum of 450mm from the boundary, whichever is the lesser (except for built to boundary walls). Gutters and downpipes must no extend past the property boundary.

Parking and Driveways

- A minimum of 2 car spaces per dwelling, at least 1 of which is enclosed.
- There is to be a maximum of 1 driveway per dwelling except for corner lots.
- Direct car access for Terrace and Premium Terrace Lots are to located as per the location shown on the Plan of Development.

Site Cover and Amenities

- Site cover is as per the Plan of Development Table.
- (a) Private open space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3 metres.
(b) Patios and covered outdoor living spaces or recreation areas are included in the private open space requirements.
- Dwellings with their main living above ground must have a minimum area of private open space of at least
 - 8sqm / 1 bedroom with a minimum dimension of 2 metres
 - 12sqm / 2 bedroom with a minimum dimension of 2.5 metres
 - 15sqm / 3 bedroom with a minimum dimension of 3 metres

Fencing

- Primary street frontage fencing to be minimum 50% transparent with a maximum height of 1.2metres.
- Secondary street frontage to be at least 25% transparent with a maximum height of 1.8 metres.
- Fencing to all side and rear boundaries to be a maximum height of 1.8 metres.
- Park front fencing to be at least 50% transparent with a maximum height of 1.8 metres.

Building Design

- All dwellings are to have a window or balcony from a habitable room overlooking the street and/or private open space.
- Garages must not project forward of the front building facade.
- Garage door width is to be a maximum of 6 metres or 50% of the width of lot at the garage setback facade whichever is the lesser (except rear lane dwelling).
- Refuse bins are to be screened from view.
- A directly facing habitable room window within 3 metres of a neighbouring dwelling, park or footpath must have
 - A fixed obscure glazing in part of the window below 1.5 metres above floor levels; or
 - A privacy screen that covers a minimum of 50% of the window view.
- Where a direct view exists into the private open space of an adjoining dwelling, the outlook from windows, stairwells, terraces, decks and other private, communal or public areas, is obscured or screened by privacy screens, with maximum permeability of 50%.

Definition

Building Height
means the vertical distance between natural surface level of the ground and the apex of a building's roof, but not including antennas or flues.

Secondary Street Frontage
is the lot boundary with the greater length

Site Cover
the proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.

- The term does not include:
- any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure
 - eaves, screens and sun shading devices.

| PLAN OF DEVELOPMENT | | | | | | | | |
|--|--------------|-------------|--------------|-------------|-------------------|-------------|---------------|-------------|
| | Cottage Lot | | Villa Lot | | Premium Villa Lot | | Courtyard Lot | |
| | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor |
| Primary Frontage | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback | | | | | | | | |
| Built to boundary | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback | | | | | | | | |
| Rear Boundary | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover | | | | | | | | |
| Site Cover (Additional 10% of site cover is allowed for porches, patios, and covered outdoors) | 65 | | 65 | | 60 | | 50 | |

LEGEND

- BUILT TO BOUNDARY WALL
- BUILDING ENVELOPE
- STAGE BOUNDARY
- INDICATIVE OPEN SPACE
- ACOUSTIC CONSTRAINTS
- REAR TERRACE LOT ACCESS
- SECONDARY LANE

LOT TYPOLOGY

- COTTAGE LOT
- VILLA
- PREMIUM VILLA
- COURTYARD LOT

CLIENT
AVJennings

DATE
27/05/2022

DISCLAIMER
These drawings are conceptual design only. Calculation dependent upon successful resolution of future investigation areas not resolving developer land. The information contained herein is subject to design development and further input from independent planning, structural, services and other technical consultants. Lot size and site subject to change, depending authority approvals.

COPYRIGHT
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PROJECT NAME
BINNIES ROAD, RIPLEY

DRAWING
POD - STAGE 3A

PROJECT NO.
427400

DRAWING NO.
SK06

SCALE
1:500 @ A1
1:1000 @ A3

ISSUE
Q

50 Peerless Ave
Mermaid Beach
QLD 4218
Phone: 07 5555 2600
Facsimile: 07 5526 8829
Email: bda@bdaarch.com.au
ABN 77 081 702 301

PLAN OF DEVELOPMENT - STAGE 3A





Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 2834/2019/MAPDA/D

Date: 21 October 2022

CLIENT
AVJennings

DISCLAIMER
These drawings are conceptual design only. Calculation dependent upon successful resolution of future investigation areas not reducing developable land. The information contained herein is subject to design development and further input from independent planning, structural, services and other technical consultants. Lot size and site subject to change, depending on authority approvals.

COPYRIGHT
Copyright in this drawing is the property of BDA. Architecture and may not be extended, copied in whole or in part or used other for the specific uses, names and site for which it has been prepared and issued.

PROJECT NAME
BINNIES ROAD, RIPLEY

DRAWING
POD - STAGE 3B

PROJECT NO. DRAWING NO. SCALE
427400 SK07 1:500 @ A1
1:1000 @ A3

ISSUE
P

50 Peerless Ave
Mermaid Beach
QLD 4218
Phone: 07 5555 2600
Facsimile: 07 5526 8829
Email: bda@bdaarch.com.au
ABN 77 081 702 301

PLAN OF DEVELOPMENT - STAGE 3B

NOTES

General

- All development is to be undertaken in accordance with the development approval.
- The maximum height of the building shall not exceed 9 metres.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise noted on the Building Envelope Plan.
- Setbacks are measure to the wall of the dwelling or edge of balcony.
- The location of built to boundary walls are nominated on the Plan of Development.
- Where built to boundary walls are not implemented side setbacks shall be adopted in accordance with the Plan of Development Table.
- Maximum length of built to boundary wall shall be 75% of the boundary length and have a maximum height of 4 metres.
OR
Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of 75% of the boundary length and a maximum height of 9m on boundaries shared with another Terrace and Premium Terrace lot.
- All exposed sections of built-to-boundary walls are to be finished with a quality cladding complimentary to the overall home design.
- Eaves, hoods, screens, and architectural elements may extend 1 metre within nominated setback or to a minimum of 450mm from the boundary, whichever is the lesser (except for built to boundary walls). Gutters and downpipes must no extend past the property boundary.

Parking and Driveways

- A minimum of 2 car spaces per dwelling, at least 1 of which is enclosed.
- There is to be a maximum of 1 driveway per dwelling except for corner lots.
- Direct car access for Terrace and Premium Terrace Lots are to be located as per the location shown on the Plan of Development.

Site Cover and Amenities

- Site cover is as per the Plan of Development Table.
- (a) Private open space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3 metres.
(b) Patios and covered outdoor living spaces or recreation areas are included in the private open space requirements.
- Dwellings with their main living above ground must have a minimum area of private open space of at least
 - 8sqm / 1 bedroom with a minimum dimension of 2 metres
 - 12sqm / 2 bedroom with a minimum dimension of 2.5 metres
 - 15sqm / 3 bedroom with a minimum dimension of 3 metres

| | Cottage Lot | | Villa Lot | | Premium Villa Lot | | Courtyard Lot | |
|--|--------------|-------------|--------------|-------------|-------------------|-------------|---------------|-------------|
| | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor |
| Primary Frontage | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback | | | | | | | | |
| Built to boundary | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback | | | | | | | | |
| Rear Boundary | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover | | | | | | | | |
| Site Cover (Additional 10% of site cover is allowed for porches, patios, and covered outdoors) | 65 | | 65 | | 60 | | 50 | |

LEGEND

- BUILT TO BOUNDARY WALL
- BUILDING ENVELOPE
- STAGE BOUNDARY
- INDICATIVE OPEN SPACE
- ACOUSTIC CONSTRAINTS
- REAR TERRACE LOT ACCESS
- SECONDARY LANE

LOT TYPOLOGY

- COTTAGE LOT
- VILLA
- PREMIUM VILLA
- COURTYARD LOT

Fencing

- Primary street frontage fencing to be minimum 50% transparent with a maximum height of 1.2 metres.
- Secondary street frontage to be at least 25% transparent with a maximum height of 1.8 metres.
- Fencing to all side and rear boundaries to be a maximum height of 1.8 metres.
- Park front fencing to be at least 50% transparent with a maximum height of 1.8 metres.

Building Design

- All dwellings are to have a window or balcony from a habitable room overlooking the street and/or private open space.
- Garages must not project forward of the front building facade.
- Garage door width is to be a maximum of 6 metres or 50% of the width of lot at the garage setback facade whichever is the lesser (except rear lane dwelling).
- Refuse bins are to be screened from view.
- A directly facing habitable room window within 3 metres of a neighbouring dwelling, park or footpath must have
 - A fixed obscure glazing in part of the window below 1.5 metres above floor levels; or
 - A privacy screen that covers a minimum of 50% of the window view.
- Where a direct view exists into the private open space of an adjoining dwelling, the outlook from windows, stairwells, terraces, decks and other private, communal or public areas, is obscured or screened by privacy screens, with maximum permeability of 50%.

Definition

Building Height
means the vertical distance between natural surface level of the ground and the apex of a building's roof, but not including antennas or flues.

Secondary Street Frontage
is the lot boundary with the greater length

Site Cover
the proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.

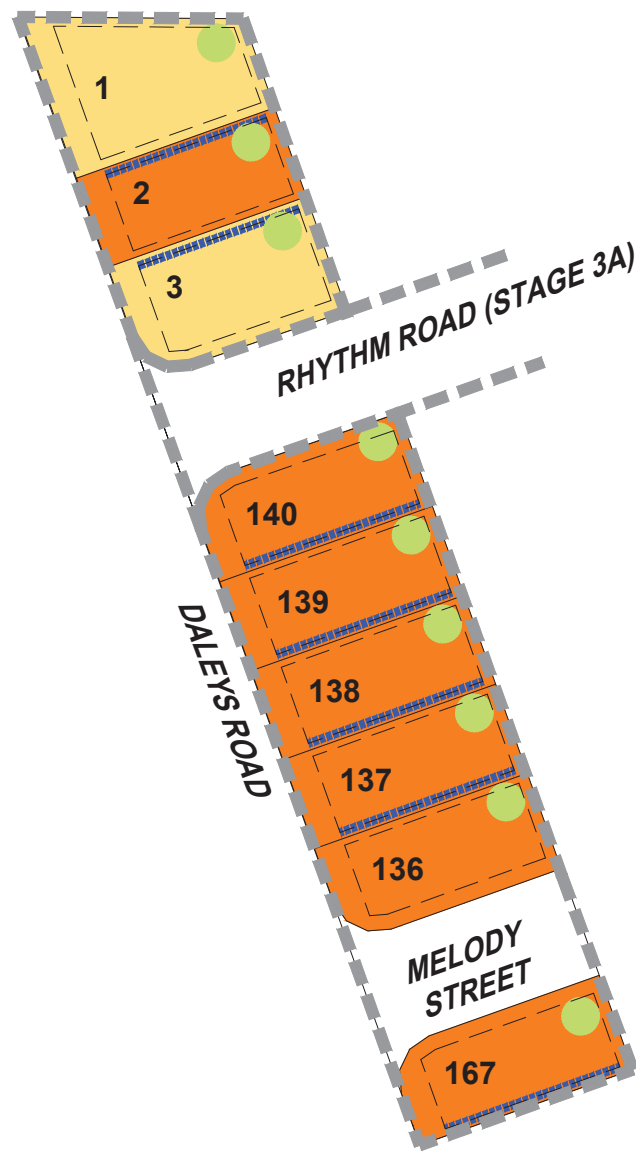
The term does not include:

- any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure
- eaves, screens and sun shading devices.

Setbacks to PMT sites are to be in accordance with any easement requirements



bda
architecture



Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 2834/2019/MAPDA/D

Date: 21 October 2022

NOTES

General

- All development is to be undertaken in accordance with the development approval.
- The maximum height of the building shall not exceed 9 metres.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise noted on the Building Envelope Plan.
- Setbacks are measure to the wall of the dwelling or edge of balcony.
- The location of built to boundary walls are nominated on the Plan of Development.
- Where built to boundary walls are not implemented side setbacks shall be adopted in accordance with the Plan of Development Table.
- Maximum length of built to boundary wall shall be 75% of the boundary length and have a maximum height of 4 metres.
OR
Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of 75% of the boundary length and a maximum height of 9m on boundaries shared with another Terrace and Premium Terrace lot.
- All exposed sections of built-to-boundary walls are to be finished with a quality cladding complimentary to the overall home design.
- Eaves, hoods, screens, and architectural elements may extend 1 metre within nominated setback or to a minimum of 450mm from the boundary, whichever is the lesser (except for built to boundary walls). Gutters and downpipes must no extend past the property boundary.

Parking and Driveways

- A minimum of 2 car spaces per dwelling, at least 1 of which is enclosed.
- There is to be a maximum of 1 driveway per dwelling except for corner lots.
- Direct car access for Terrace and Premium Terrace Lots are to located as per the location shown on the Plan of Development.

Site Cover and Amenity

- Site cover is as per the Plan of Development Table.
- (a) Private open space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3 metres.
(b) Patios and covered outdoor living spaces or recreation areas are included in the private open space requirements.
- Dwellings with their main living above ground must have a minimum area of private open space of at least
 - 8sqm / 1 bedroom with a minimum dimension of 2 metres
 - 12sqm / 2 bedroom with a minimum dimension of 2.5 metres
 - 15sqm / 3 bedroom with a minimum dimension of 3 metres

Fencing

- Primary street frontage fencing to be minimum 50% transparent with a maximum height of 1.2 metres.
- Secondary street frontage to be at least 25% transparent with a maximum height of 1.8 metres.
- Fencing to all side and rear boundaries to be a maximum height of 1.8 metres.
- Park front fencing to be at least 50% transparent with a maximum height of 1.8 metres.

Building Design

- All dwellings are to have a window or balcony from a habitable room overlooking the street and/or private open space.
- Garages must not project forward of the front building facade.
- Garage door width is to be a maximum of 6 metres or 50% of the width of lot at the garage setback facade whichever is the lesser (except rear lane dwelling).
- Refuse bins are to be screened from view.
- A directly facing habitable room window within 3 metres of a neighbouring dwelling, park or footpath must have
 - A fixed obscure glazing in part of the window below 1.5 metres above floor levels; or
 - A privacy screen that covers a minimum of 50% of the window view.
- Where a direct view exists into the private open space of an adjoining dwelling, the outlook from windows, stairwells, terraces, decks and other private, communal or public areas, is obscured or screened by privacy screens, with maximum permeability of 50%.

Definition

Building Height
means the vertical distance between natural surface level of the ground and the apex of a building's roof, but not including antennas or flues.

Secondary Street Frontage
is the lot boundary with the greater length

Site Cover
the proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.

The term does not include:

- any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure
- eaves, screens and sun shading devices.

Setbacks to PMT sites are to be in accordance with any easement requirements

LEGEND

- BUILT TO BOUNDARY WALL
- BUILDING ENVELOPE
- STAGE BOUNDARY
- INDICATIVE OPEN SPACE
- ACOUSTIC CONSTRAINTS
- REAR TERRACE LOT ACCESS
- SECONDARY LANE
- COTTAGE LOT
- VILLA
- PREMIUM VILLA
- COURTYARD LOT

| | Cottage Lot | | Villa Lot | | Premium Villa Lot | | Courtyard Lot | |
|--|--------------|-------------|--------------|-------------|-------------------|-------------|---------------|-------------|
| | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor |
| Primary Frontage | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback | | | | | | | | |
| Built to boundary | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback | | | | | | | | |
| Rear Boundary | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover | | | | | | | | |
| Site Cover (Additional 10% of site cover is allowed for porches, patios, and covered outdoors) | 65 | | 65 | | 60 | | 50 | |

PLAN OF DEVELOPMENT - STAGE 3C

| PLAN OF DEVELOPMENT | | | | | | | | | | |
|--|---------------------|-------------|--------------|-------------|--------------|-------------|-------------------|-------------|---------------|-------------|
| | Premium Terrace Lot | | Cottage Lot | | Villa Lot | | Premium Villa Lot | | Courtyard Lot | |
| | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor |
| Primary Frontage | 2.5 | 2.5 | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 0.0 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback | | | | | | | | | | |
| Built to boundary | 0.0 | 0.0 | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.0 | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 2.0 | 2.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback | | | | | | | | | | |
| Rear Boundary | 0.0 | 0.0 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover | | | | | | | | | | |
| Site Cover (Additional 10% of site cover is allowed for porches, patios, and covered outdoors) | 70 | | 65 | | 65 | | 60 | | 50 | |

Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 2834/19/MAPDA/B

Date: 3 May 2022

NOTES

General

- All development is to be undertaken in accordance with the development approval.
- The maximum height of the building shall not exceed 9 metres.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise noted on the Building Envelope Plan.
- Setbacks are measure to the wall of the dwelling or edge of balcony.
- The location of built to boundary walls are nominated on the Plan of Development.
- Where built to boundary walls are not implemented side setbacks shall be adopted in accordance with the Plan of Development Table.
- Maximum length of built to boundary wall shall be 75% of the boundary length and have a maximum height of 4 metres.
OR
Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of 75% of the boundary length and a maximum height of 9m on boundaries shared with another Terrace and Premium Terrace lot.
- All exposed sections of built-to-boundary walls are to be finished with a quality cladding complimentary to the overall home design.
- Eaves, hoods, screens, and architectural elements may extend 1 metre within nominated setback or to a minimum of 450mm from the boundary, whichever is the lesser (except for built to boundary walls). Gutters and downpipes must no extend past the property boundary.

Parking and Driveways

- A minimum of 2 car spaces per dwelling, at least 1 of which is enclosed.
- There is to be a maximum of 1 driveway per dwelling except for corner lots.
- Direct car access for Terrace and Premium Terrace Lots are to located as per the location shown on the Plan of Development.

Site Cover and Amenity

- Site cover is as per the Plan of Development Table.
- (a) Private open space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3 metres.

(b) Patios and covered outdoor living spaces or recreation areas are included in the private open space requirements.
- Dwellings with their main living above ground must have a minimum area of private open space of at least
 - 8sqm / 1 bedroom with a minimum dimension of 2 metres
 - 12sqm / 2 bedroom with a minimum dimension of 2.5 metres
 - 15sqm / 3 bedroom with a minimum dimension of 3 metres

Fencing

- Primary street frontage fencing to be minimum 50% transparent with a maximum height of 1.2 metres.
- Secondary street frontage to be at least 25% transparent with a maximum height of 1.8 metres.
- Fencing to all side and rear boundaries to be a maximum height of 1.8 metres.
- Park front fencing to be at least 50% transparent with a maximum height of 1.8 metres.

Building Design

- All dwellings are to have a window or balcony from a habitable room overlooking the street and/or private open space.
- Garages must not project forward of the front building facade.
- Garage door width is to be a maximum of 6 metres or 50% of the width of lot at the garage setback facade whichever is the lesser (except rear lane dwelling).
- Refuse bins are to be screened from view.
- A directly facing habitable room window within 3 metres of a neighbouring dwelling, park or footpath must have
 - A fixed obscure glazing in part of the window below 1.5 metres above floor levels; or
 - A privacy screen that covers a minimum of 50% of the window view.
- Where a direct view exists into the private open space of an adjoining dwelling, the outlook from windows, stairwells, terraces, decks and other private, communal or public areas, is obscured or screened by privacy screens, with maximum permeability of 50%.

Definition

Building Height
means the vertical distance between natural surface level of the ground and the apex of a building's roof, but not including antennas or flues.

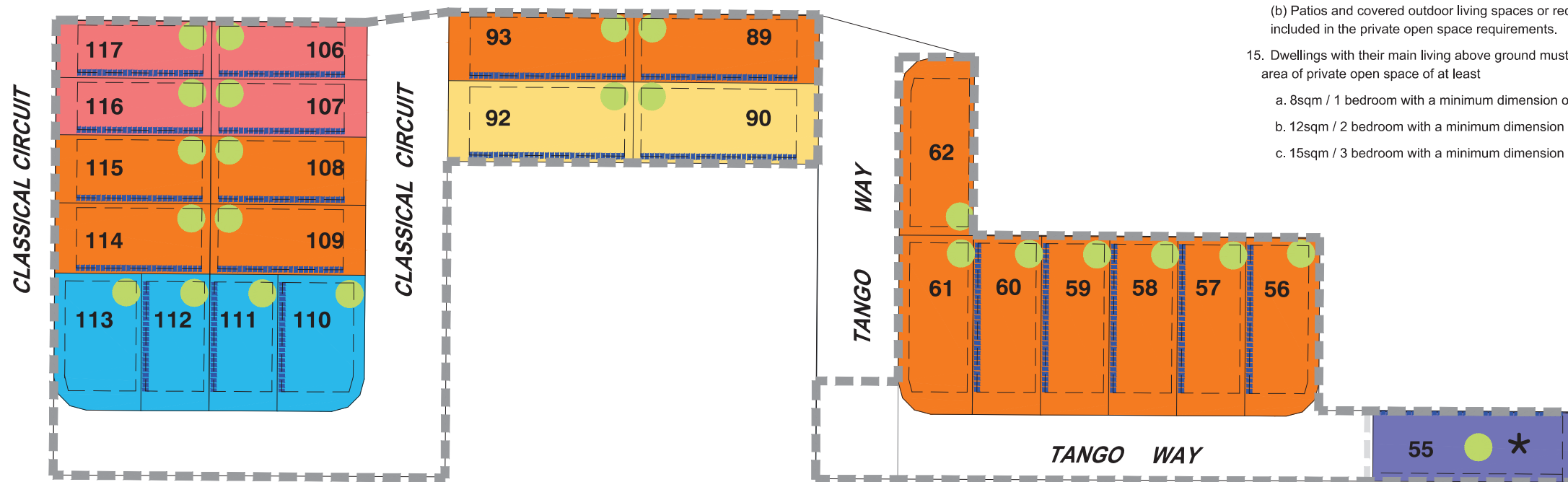
Secondary Street Frontage
is the lot boundary with the greater length

Site Cover
the proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.

The term does not include:

- any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure
- eaves, screens and sun shading devices.

Setbacks to PMT sites are to be in accordance with any easement requirements



LEGEND

- BUILT TO BOUNDARY WALL
- BUILDING ENVELOPE
- STAGE BOUNDARY
- INDICATIVE OPEN SPACE
- ACOUSTIC CONSTRAINTS
- REAR TERRACE LOT ACCESS
- SECONDARY LANE

LOT TYPOLOGY

- COTTAGE LOT
- VILLA
- PREMIUM VILLA
- COURTYARD LOT
- PREMIUM TERRACE



NOTES

General

1. All development is to be undertaken in accordance with the development approval.
2. The maximum height of the building shall not exceed 9 metres.

Setbacks

3. Setbacks are as per the Plan of Development Table unless otherwise noted on the Building Envelope Plan.
4. Setbacks are measure to the wall of the dwelling or edge of balcony.
5. The location of built to boundary walls are nominated on the Plan of Development.
6. Where built to boundary walls are not implemented side setbacks shall be adopted in accordance with the Plan of Development Table.
7. Maximum length of built to boundary wall shall be 75% of the boundary length and have a maximum height of 4 metres.
OR
Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of 75% of the boundary length and a maximum height of 9m on boundaries shared with another Terrace and Premium Terrace lot.
8. All exposed sections of built-to-boundary walls are to be finished with a quality cladding complimentary to the overall home design.
9. Eaves, hoods, screens, and architectural elements may extend 1 metre within nominated setback or to a minimum of 450mm from the boundary, whichever is the lesser (except for built to boundary walls). Gutters and downpipes must no extend past the property boundary.

Parking and Driveways

10. A minimum of 2 car spaces per dwelling, at least 1 of which is enclosed.
11. There is to be a maximum of 1 driveway per dwelling except for corner lots.
12. Direct car access for Terrace and Premium Terrace Lots are to be located as per the location shown on the Plan of Development.

Site Cover and Amenity

13. Site cover is as per the Plan of Development Table.
14. (a) Private open space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3 metres.

(b) Patios and covered outdoor living spaces or recreation areas are included in the private open space requirements.
15. Dwellings with their main living above ground must have a minimum area of private open space of at least
 - a. 8sqm / 1 bedroom with a minimum dimension of 2 metres
 - b. 12sqm / 2 bedroom with a minimum dimension of 2.5 metres
 - c. 15sqm / 3 bedroom with a minimum dimension of 3 metres

Fencing

16. Primary street frontage fencing to be minimum 50% transparent with a maximum height of 1.2 metres.
17. Secondary street frontage to be at least 25% transparent with a maximum height of 1.8 metres.
18. Fencing to all side and rear boundaries to be a maximum height of 1.8 metres.
19. Park front fencing to be at least 50% transparent with a maximum height of 1.8 metres.

Building Design

20. All dwellings are to have a window or balcony from a habitable room overlooking the street and/or private open space.
21. Garages must not project forward of the front building facade.
22. Garage door width is to be a maximum of 6 metres or 50% of the width of lot at the garage setback facade whichever is the lesser (except rear lane dwelling).
23. Refuse bins are to be screened from view.
24. A directly facing habitable room window within 3 metres of a neighbouring dwelling, park or footpath must have
 - a. A fixed obscure glazing in part of the window below 1.5 metres above floor levels; or
 - b. A privacy screen that covers a minimum of 50% of the window view.
25. Where a direct view exists into the private open space of an adjoining dwelling, the outlook from windows, stairwells, terraces, decks and other private, communal or public areas, is obscured or screened by privacy screens, with maximum permeability of 50%.

Definition

Building Height
means the vertical distance between natural surface level of the ground and the apex of a building's roof, but not including antennas or flues.

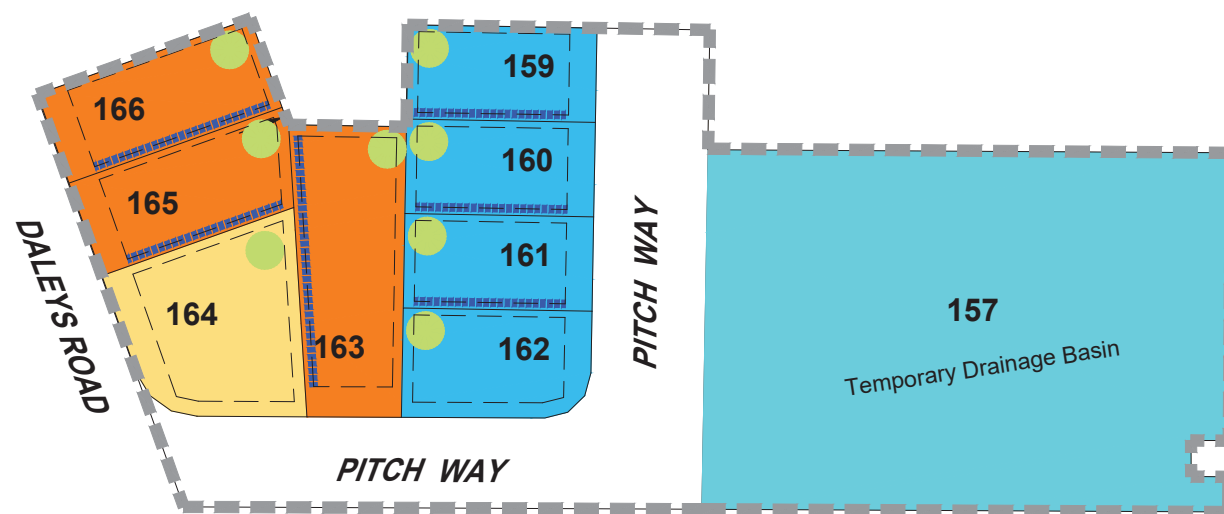
Secondary Street Frontage
is the lot boundary with the greater length

Site Cover
the proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.

The term does not include:

1. any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure
2. eaves, screens and sun shading devices.

Setbacks to PMT sites are to be in accordance with any easement requirements



Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 2834/2019/MAPDA/D

Date: 21 October 2022

| PLAN OF DEVELOPMENT | | | | | | | | |
|--|--------------|-------------|--------------|-------------|-------------------|-------------|---------------|-------------|
| | Cottage Lot | | Villa Lot | | Premium Villa Lot | | Courtyard Lot | |
| | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor |
| Primary Frontage | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback | | | | | | | | |
| Built to boundary | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback | | | | | | | | |
| Rear Boundary | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover | | | | | | | | |
| Site Cover (Additional 10% of site cover is allowed for porches, patios, and covered outdoors) | 65 | | 65 | | 60 | | 50 | |

LEGEND

- BUILT TO BOUNDARY WALL
- BUILDING ENVELOPE
- STAGE BOUNDARY
- INDICATIVE OPEN SPACE
- ACOUSTIC CONSTRAINTS
- REAR TERRACE LOT ACCESS
- SECONDARY LANE

LOT TYPOLOGY

- COTTAGE LOT
- VILLA
- PREMIUM VILLA
- COURTYARD LOT

CLIENT AVJennings

DATE 13/10/2022

DISCLAIMER
These drawings are conceptual design only. Calculation dependent upon successful resolution of future investigation areas not reducing developable land. The information contained herein is subject to design development and further input from independent planning, structural, services and other technical consultants. Lot size and size subject to change, depending on authority approvals.

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PROJECT NAME
BINNIES ROAD, RIPLEY

DRAWING
POD - STAGE 3D

PROJECT NO. DRAWING NO. SCALE
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1:1000 @ A3

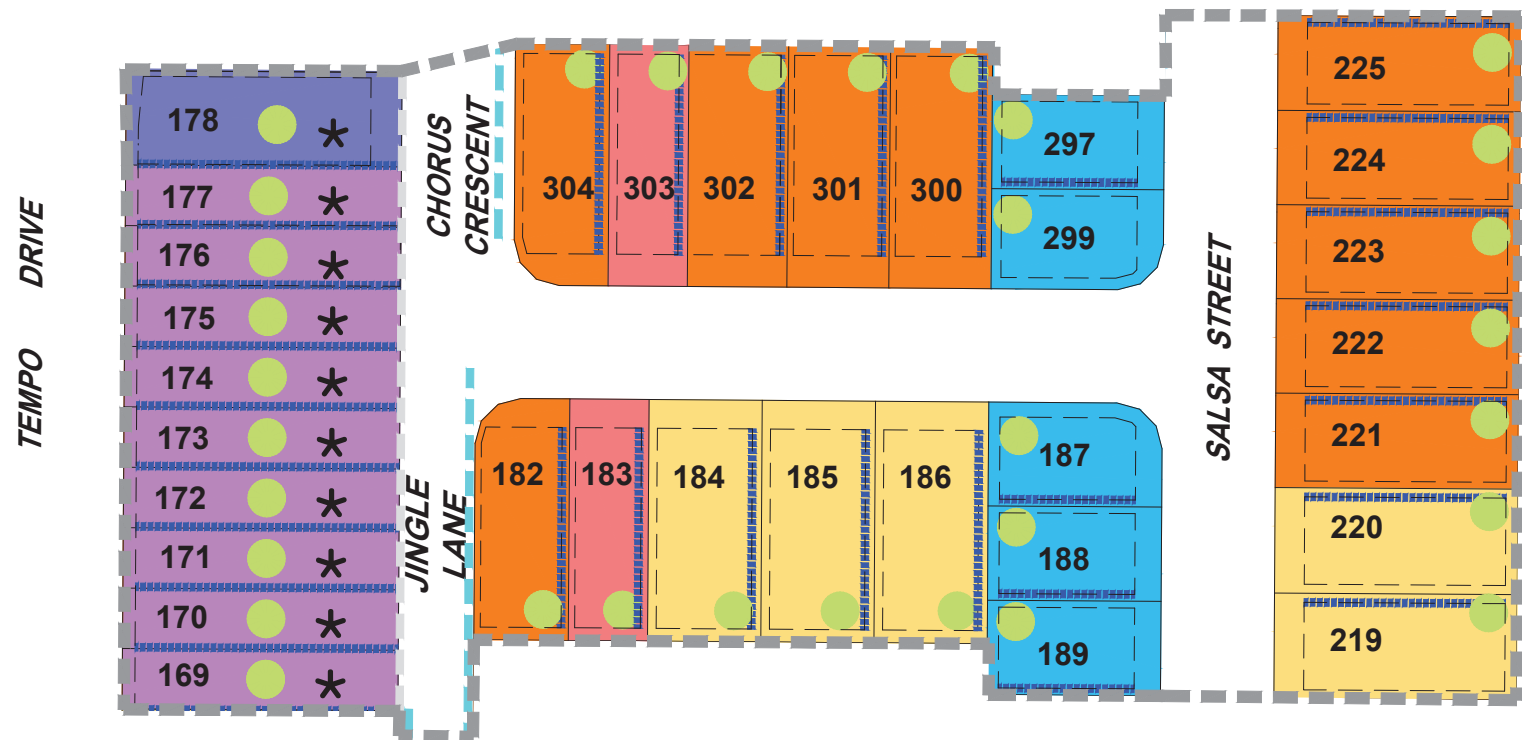
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PLAN OF DEVELOPMENT - STAGE 3D (CONTINUED)



bda
architecture



NOTES

General

1. All development is to be undertaken in accordance with the development approval.
2. The maximum height of the building shall not exceed 9 metres.

Setbacks

3. Setbacks are as per the Plan of Development Table unless otherwise noted on the Building Envelope Plan.
4. Setbacks are measure to the wall of the dwelling or edge of balcony.
5. The location of built to boundary walls are nominated on the Plan of Development.
6. Where built to boundary walls are not implemented side setbacks shall be adopted in accordance with the Plan of Development Table.
7. Maximum length of built to boundary wall shall be 75% of the boundary length and have a maximum height of 4 metres.
OR
Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of 75% of the boundary length and a maximum height of 9m on boundaries shared with another Terrace and Premium Terrace lot.
8. All exposed sections of built-to-boundary walls are to be finished with a quality cladding complimentary to the overall home design.
9. Eaves, hoods, screens, and architectural elements may extend 1 metre within nominated setback or to a minimum of 450mm from the boundary, whichever is the lesser (except for built to boundary walls). Gutters and downpipes must no extend past the property boundary.

Parking and Driveways

10. A minimum of 2 car spaces per dwelling, at least 1 of which is enclosed.
11. There is to be a maximum of 1 driveway per dwelling except for corner lots.
12. Direct car access for Terrace and Premium Terrace Lots are to located as per the location shown on the Plan of Development.

Site Cover and Amenities

13. Site cover is as per the Plan of Development Table.
14. (a) Private open space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3 metres.
(b) Patios and covered outdoor living spaces or recreation areas are included in the private open space requirements.
15. Dwellings with their main living above ground must have a minimum area of private open space of at least
 - a. 8sqm / 1 bedroom with a minimum dimension of 2 metres
 - b. 12sqm / 2 bedroom with a minimum dimension of 2.5 metres
 - c. 15sqm / 3 bedroom with a minimum dimension of 3 metres

Fencing

16. Primary street frontage fencing to be minimum 50% transparent with a maximum height of 1.2 metres.
17. Secondary street frontage to be at least 25% transparent with a maximum height of 1.8 metres.
18. Fencing to all side and rear boundaries to be a maximum height of 1.8 metres.
19. Park front fencing to be at least 50% transparent with a maximum height of 1.8 metres.

Building Design

20. All dwellings are to have a window or balcony from a habitable room overlooking the street and/or private open space.
21. Garages must not project forward of the front building facade.
22. Garage door width is to be a maximum of 6 metres or 50% of the width of lot at the garage setback facade whichever is the lesser (except rear lane dwelling).
23. Refuse bins are to be screened from view.
24. A directly facing habitable room window within 3 metres of a neighbouring dwelling, park or footpath must have
 - a. A fixed obscure glazing in part of the window below 1.5 metres above floor levels; or
 - b. A privacy screen that covers a minimum of 50% of the window view.
25. Where a direct view exists into the private open space of an adjoining dwelling, the outlook from windows, stairwells, terraces, decks and other private, communal or public areas, is obscured or screened by privacy screens, with maximum permeability of 50%.

Definition

- Building Height**
means the vertical distance between natural surface level of the ground and the apex of a building's roof, but not including antennas or flues.
- Secondary Street Frontage**
is the lot boundary with the greater length
- Site Cover**
the proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.
- The term does not include:
1. any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure
 2. eaves, screens and sun shading devices.

Setbacks to PMT sites are to be in accordance with any easement requirements

| PLAN OF DEVELOPMENT | | | | | | | | | | | | |
|--|--------------|-------------|---------------------|-------------|--------------|-------------|--------------|-------------|-------------------|-------------|---------------|-------------|
| | Terrace Lot | | Premium Terrace Lot | | Cottage Lot | | Villa Lot | | Premium Villa Lot | | Courtyard Lot | |
| | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor |
| Primary Frontage | 2.5 | 2.5 | 2.5 | 2.5 | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 0.0 | NA | 0.0 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback | | | | | | | | | | | | |
| Built to boundary | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.0 | 0.9 | 0.0 | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 1.0 | 1.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 1.0 | 1.0 | 2.0 | 2.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback | | | | | | | | | | | | |
| Rear Boundary | 0.0 | 0.0 | 0.0 | 0.0 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover | | | | | | | | | | | | |
| Site Cover (Additional 10% of site cover is allowed for porches, patios, and covered outdoors) | 70 | | 70 | | 65 | | 65 | | 60 | | 50 | |

LEGEND

- BUILT TO BOUNDARY WALL
- BUILDING ENVELOPE
- STAGE BOUNDARY
- INDICATIVE OPEN SPACE
- ACOUSTIC CONSTRAINTS
- REAR TERRACE LOT ACCESS
- SECONDARY LANE

LOT TYPOLOGY

- TERRACE
- PREMIUM TERRACE
- COTTAGE LOT
- VILLA
- PREMIUM VILLA
- COURTYARD

Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for Approval No.: 2834/2019/MAPDA/D Date: 21 October 2022

PLAN OF DEVELOPMENT - STAGE 4A

Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 2834/2019/MAPDA/
D

Date: 21 October 2022

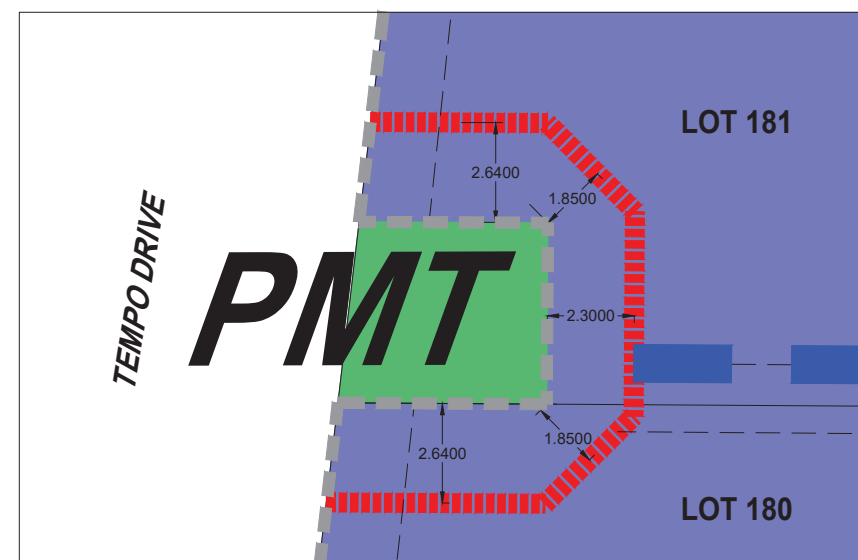
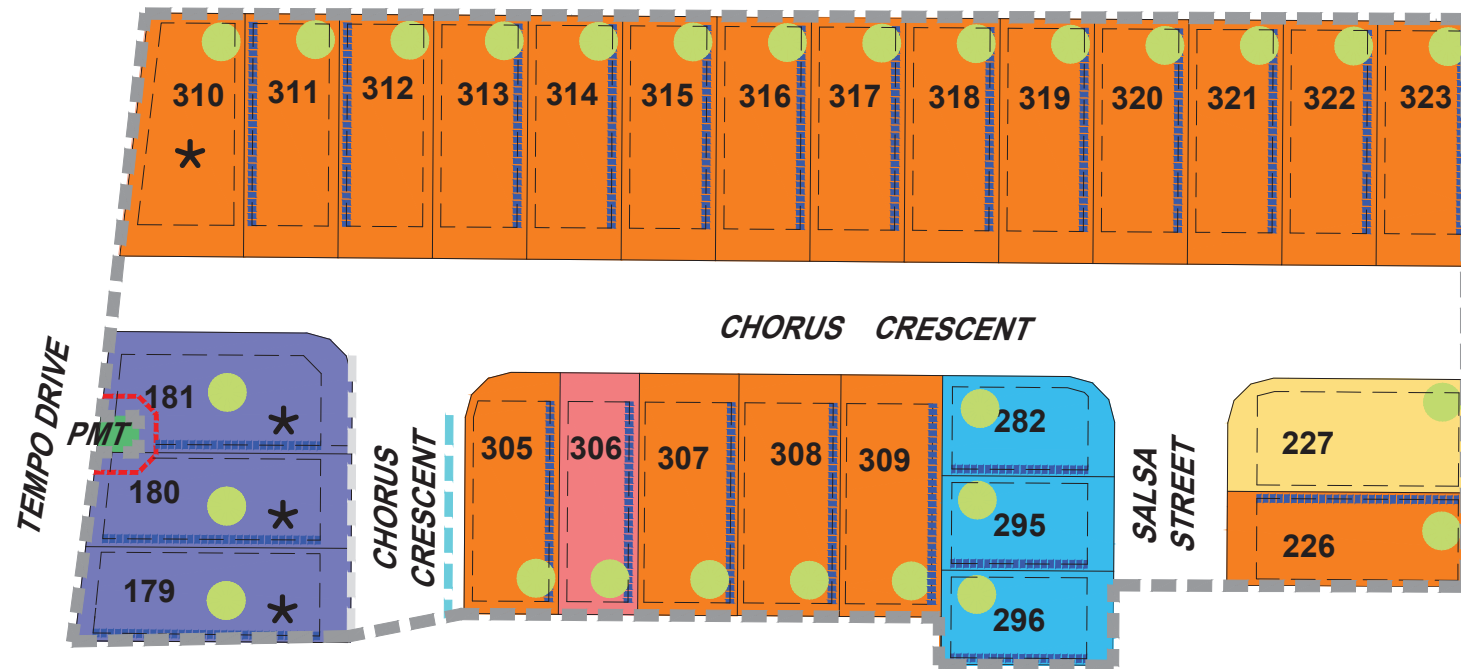


DIAGRAM OF PADMOUNT SETBACK
DIMENSIONS ARE APPROXIMATE ONLY. REFER TO ENERGEX DISTRIBUTION CONSTRUCTION MANUAL FOR DETAILS.

NOTES

General

1. All development is to be undertaken in accordance with the development approval.
2. The maximum height of the building shall not exceed 9 metres.

Setbacks

3. Setbacks are as per the Plan of Development Table unless otherwise noted on the Building Envelope Plan.
4. Setbacks are measure to the wall of the dwelling or edge of balcony.
5. The location of built to boundary walls are nominated on the Plan of Development.
6. Where built to boundary walls are not implemented side setbacks shall be adopted in accordance with the Plan of Development Table.
7. Maximum length of built to boundary wall shall be 75% of the boundary length and have a maximum height of 4 metres.
OR
Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of 75% of the boundary length and a maximum height of 9m on boundaries shared with another Terrace and Premium Terrace lot.
8. All exposed sections of built-to-boundary walls are to be finished with a quality cladding complimentary to the overall home design.
9. Eaves, hoods, screens, and architectural elements may extend 1 metre within nominated setback or to a minimum of 450mm from the boundary, whichever is the lesser (except for built to boundary walls). Gutters and downpipes must no extend past the property boundary.

Parking and Driveways

10. A minimum of 2 car spaces per dwelling, at least 1 of which is enclosed.
11. There is to be a maximum of 1 driveway per dwelling except for corner lots.
12. Direct car access for Terrace and Premium Terrace Lots are to located as per the location shown on the Plan of Development.

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15. Dwellings with their main living above ground must have a minimum area of private open space of at least
 - a. 8sqm / 1 bedroom with a minimum dimension of 2 metres
 - b. 12sqm / 2 bedroom with a minimum dimension of 2.5 metres
 - c. 15sqm / 3 bedroom with a minimum dimension of 3 metres

Fencing

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18. Fencing to all side and rear boundaries to be a maximum height of 1.8 metres.
19. Park front fencing to be at least 50% transparent with a maximum height of 1.8 metres.

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21. Garages must not project forward of the front building facade.
22. Garage door width is to be a maximum of 6 metres or 50% of the width of lot at the garage setback facade whichever is the lesser (except rear lane dwelling).
23. Refuse bins are to be screened from view.
24. A directly facing habitable room window within 3 metres of a neighbouring dwelling, park or footpath must have
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25. Where a direct view exists into the private open space of an adjoining dwelling, the outlook from windows, stairwells, terraces, decks and other private, communal or public areas, is obscured or screened by privacy screens, with maximum permeability of 50%.

Definition

Building Height
means the vertical distance between natural surface level of the ground and the apex of a building's roof, but not including antennas or flues.

Secondary Street Frontage
is the lot boundary with the greater length

Site Cover
the proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.

The term does not include:

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2. eaves, screens and sun shading devices.

Setbacks to PMT sites are to be in accordance with any easement requirements

LEGEND

- BUILT TO BOUNDARY WALL
- BUILDING ENVELOPE
- STAGE BOUNDARY
- INDICATIVE OPEN SPACE
- ACOUSTIC CONSTRAINTS
- REAR TERRACE LOT ACCESS
- SECONDARY LANE
- EXCLUSION ZONE REFER TO ENERGEX UNDERGROUND DISTRIBUTION CONSTRUCTION MANUAL

LEGEND

LOT TYPOLOGY

- PREMIUM TERRACE
- COTTAGE LOT
- VILLA
- PREMIUM VILLA
- COURTYARD

| | Terrace Lot | | Premium Terrace Lot | | Cottage Lot | | Villa Lot | | Premium Villa Lot | | Courtyard Lot | |
|--|--------------|-------------|---------------------|-------------|--------------|-------------|--------------|-------------|-------------------|-------------|---------------|-------------|
| | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor |
| Primary Frontage | 2.5 | 2.5 | 2.5 | 2.5 | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 0.0 | NA | 0.0 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback | | | | | | | | | | | | |
| Built to boundary | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.0 | 0.9 | 0.0 | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 1.0 | 1.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 1.0 | 1.0 | 2.0 | 2.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback | | | | | | | | | | | | |
| Rear Boundary | 0.0 | 0.0 | 0.0 | 0.0 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover | | | | | | | | | | | | |
| Site Cover (Additional 10% of site cover is allowed for porches, patios, and covered outdoors) | 70 | | 70 | | 65 | | 65 | | 60 | | 50 | |

PLAN OF DEVELOPMENT - STAGE 4B