

<h1>PLAN OF SUBDIVISION</h1>	EDITION 1	<h1>PS908409D</h1>
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<p>LOCATION OF LAND</p> <p>PARISH: CRANBOURNE</p> <p>TOWNSHIP: —</p> <p>SECTION: —</p> <p>CROWN ALLOTMENT: —</p> <p>CROWN PORTION: 44(PT)</p> <p>TITLE REFERENCE: VOL.11904 FOL.811</p> <p>LAST PLAN REFERENCE: PS801757Y (LOT 1)</p> <p>POSTAL ADDRESS: (at time of subdivision) 1865 THOMPSONS ROAD CLYDE NORTH 3978</p> <p>MGA CO-ORDINATES: E: 355 080 ZONE: 55 (of approx centre of land N: 5 783 070 GDA 2020 in plan)</p>	<p>Council Name: Casey City Council</p> <p>Council Reference Number: SubA00200/22 Planning Permit Reference: PA20-0756 SPEAR Reference Number: S195288T</p> <p>Certification</p> <p>This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 09/02/2023</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied for: lots excluding Lots A and B</p> <p>Digitally signed by: Michele Scarlett for Casey City Council on 10/10/2023</p> <p>Statement of Compliance issued: 11/10/2023</p>
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VESTING OF ROADS AND/OR RESERVES	NOTATIONS
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IDENTIFIER	COUNCIL/BODY/PERSON	NOTATIONS
ROAD R1 RESERVE No.1	CITY OF CASEY AUSNET ELECTRICITY SERVICES PTY LTD	<p>LOTS 1 TO 100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.</p> <p>FOR RESTRICTION A AFFECTING LOTS 101 TO 165 (BOTH INCLUSIVE) SEE SHEET 6.</p> <p>FOR RESTRICTION B AFFECTING LOTS 116, 117, 119, 120, 139 TO 144 (BOTH INCLUSIVE), 146 & 147 SEE SHEET 6.</p>

NOTATIONS
DEPTH LIMITATION: DOES NOT APPLY
<p>This is a SPEAR plan.</p> <p>STAGING: This is not a staged subdivision. Planning Permit No. PA20-0756</p> <p>SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 77, 1829, 1831, 2121 & 2122. In Proclaimed Survey Area No. 45</p> <div style="border: 1px solid black; padding: 2px; margin-top: 5px;"> <p>Estate: Somerford Phase No.: 1 No. of Lots: 65 + LOT A & B PHASE AREA: 3.397ha</p> </div>

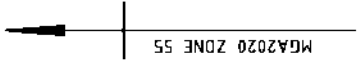
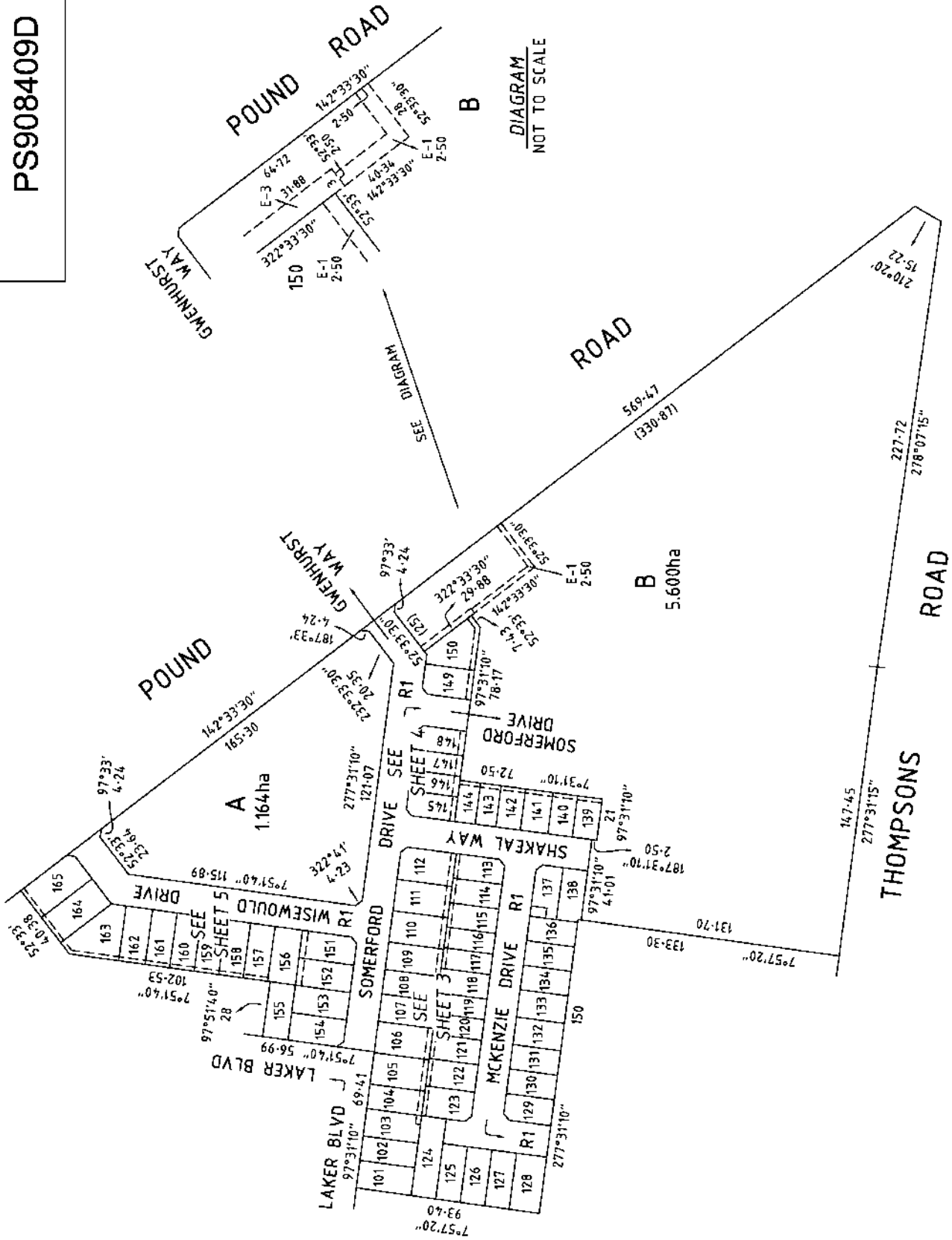
EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement or Condition in Crown Grant in the Nature of an Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-3	SEWERAGE	SEE DIAG	THIS PLAN	SOUTH EAST WATER CORPORATION CITY OF CASEY
E-2, E-3	DRAINAGE	SEE DIAG	THIS PLAN	

<p>Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au</p>	<p>SURVEYORS FILE REF: 1801459/1 1801459-01-PS-V9.DWG</p>	<p>ORIGINAL SHEET SIZE: A3</p>	<p>SHEET 1 OF 6</p>
	<p>Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (9), 23/08/2023. SPEAR Ref: S195288T</p>		<p>PLAN REGISTERED TIME: 2.43pm DATE: 17/10/2023 J. Beckingham Assistant Registrar of Titles</p>

PS908409D



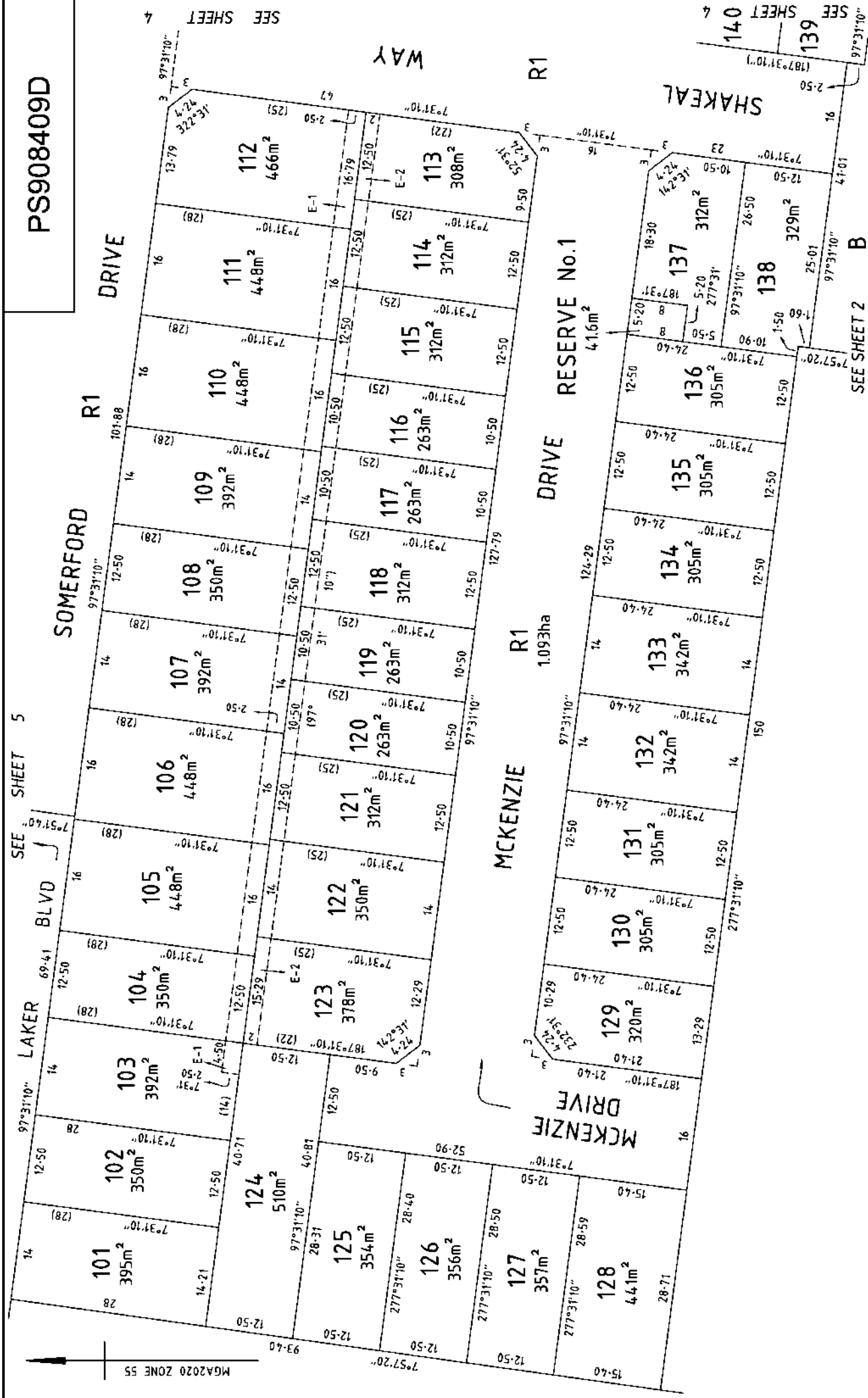
SCALE 1:2000	20 0 20 40 60 80 LENGTHS ARE IN METRES	ORIGINAL SHEET SIZE: A3	SHEET 2
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SURVYORS REFERENCE
1801459/1

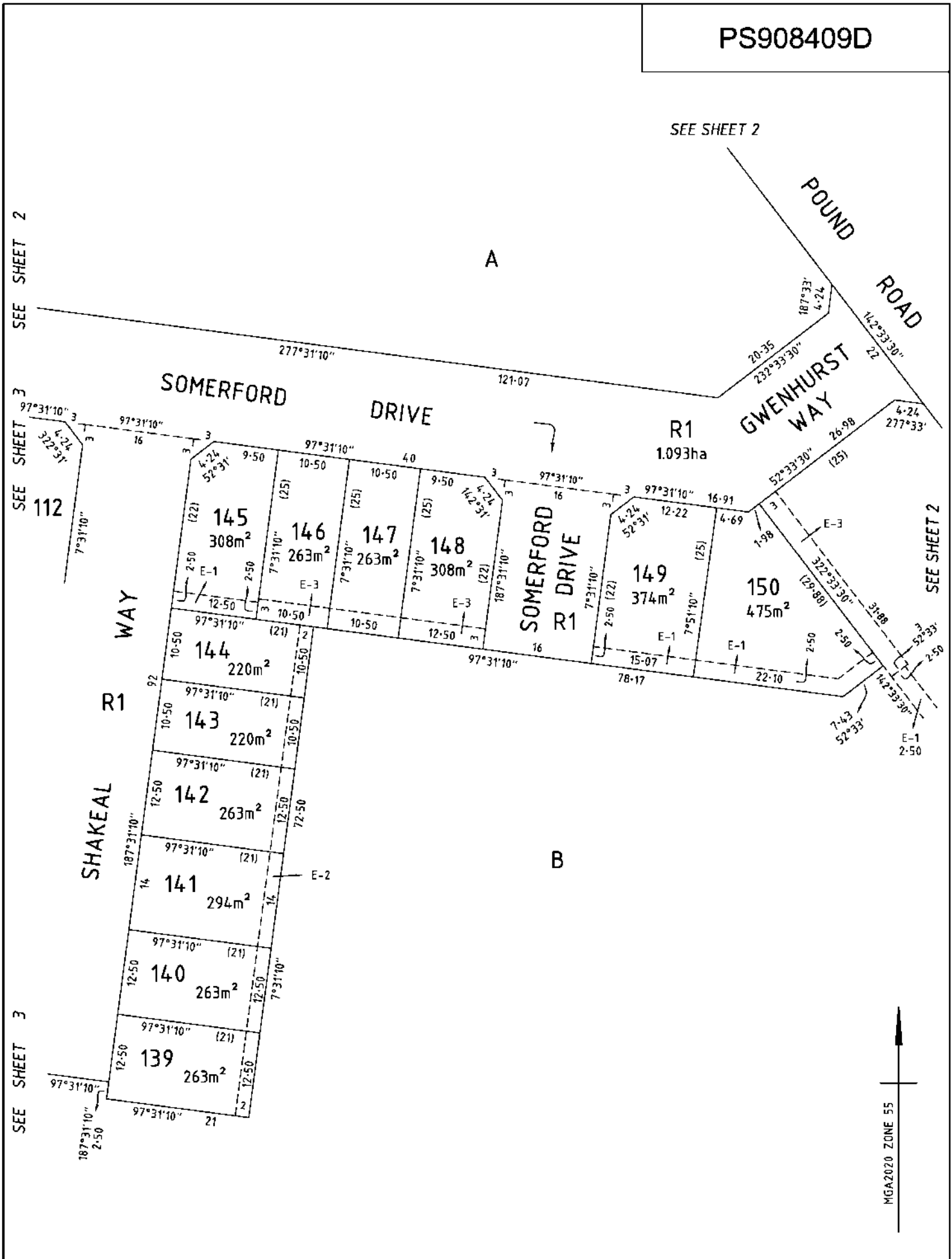
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 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au	SURVEYORS REFERENCE 1801459/1	SCALE 1 : 500 LENGTHS ARE IN METRES 5 0 5 10 15 20	ORIGINAL SHEET SIZE: A3 SHEET 3
	Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (9), 23/08/2023, SPEAR Ref: S195288T Digitally signed by: Casey City Council, 10/10/2023, SPEAR Ref: S195288T		

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SURVEYORS REF
1801459/1

SCALE
1 : 500



ORIGINAL SHEET
SIZE: A3

SHEET 4

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Digitally signed by:
 Casey City Council,
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PS908409D

CREATION OF RESTRICTION 'A'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BURDENED LAND.

LAND TO BE BURDENED: LOTS 101 TO 165 (BOTH INCLUSIVE)

LAND TO BE BENEFITED: LOTS 101 TO 165 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN MUST NOT BUILD OR PERMIT ANY OTHER PERSON UNDER ITS CONTROL OR DIRECTION TO.

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING, STRUCTURE OR FENCE OTHER THAN A BUILDING, STRUCTURE OR FENCE IN ACCORDANCE WITH THE DESIGN GUIDELINES ENDORSED BY THE CITY OF CASEY UNDER PLANNING PERMIT No. PA20-0756.
A COPY OF THE DESIGN GUIDELINES IS AVAILABLE UPON REQUEST AT WEBSITE <https://avjennings.com.au/Home/somerford/building-information>
- 2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OUTSIDE THE BUILDING ENVELOPE APPLIED TO THE LOT ON THE BUILDING ENVELOPE PLAN ENDORSED UNDER PLANNING PERMIT No. PA20-0756.
A COPY OF THE BUILDING ENVELOPE PLAN IS AVAILABLE UPON REQUEST AT WEBSITE <https://avjennings.com.au/Home/somerford/building-information>
- 3) CONSTRUCT ANY DWELLING OR COMMERCIAL BUILDING UNLESS THE BUILDING OR DWELLING INCORPORATES DUAL PLUMBING FOR THE USE OF RECYCLED WATER IN TOILET FLUSHING AND GARDEN WATERING SHOULD THE SAID SERVICE BECOME AVAILABLE.
- 4) CONSOLIDATE OR SEEK TO CONSOLIDATE ANY BURDENED LOT WITH ANOTHER LOT OR PART OF A LOT.
- 5) SUBDIVIDE OR SEEK TO SUBDIVIDE ANY BURDENED LOT.

VARIATION

ANY VARIATION TO BUILDING ENVELOPES OR CONSENT TO BUILD OUTSIDE ANY BUILDING ENVELOPE WILL REQUIRE APPROVAL FROM THE CITY OF CASEY.

EXPIRY DATE

THIS RESTRICTION SHALL CEASE TO HAVE EFFECT TEN (10) YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BURDENED LAND.

LAND TO BE BURDENED: LOTS 116, 117, 119, 120, 139 TO 144 (BOTH INCLUSIVE), 146 & 147

LAND TO BE BENEFITED: LOTS 101 TO 165 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN SHALL NOT CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT IS IN ACCORDANCE WITH A "TYPE A" LOT UNDER THE SMALL LOT HOUSING CODE PURSUANT TO CLAUSE 72.04 OF THE CASEY PLANNING SCHEME.

EXPIRY DATE

THIS RESTRICTION SHALL CEASE TO HAVE EFFECT TEN (10) YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN.