

SOMERFORD By AVJennings

1.0 Guideline Process

Design Guideline approval MUST be received from the Somerford Design Assessment Panel (DAP) prior to the construction of any new home, garage, fence or any other structure on allotments within the Somerford community. Prior to commencing works on site, you MUST also obtain a building permit.

The Somerford Design Assessment Panel encourages individuality and innovation in design and reserves the right to approve designs which may not meet these requirements but will be of benefit to the community.

These Design Guidelines are subject to change without prior notice by AVJennings. All decisions regarding these controls are at the sole discretion of the DAP.

AVJennings will in the first instance, cover the initial DAP application, but subsequent approvals will be at the expense of the applicant.

The submitted application must contain the following:

- 1.1 Applicant Name & Builder Details
- 1.2 Energy Certificate confirming compliance with current building regulations
- 1.3 Site Plan at 1:200 scale minimum
- 1.4 Site Plan showing:
 - 1.4.1 Setback distances from all boundaries to locate your home, garage and outbuildings;
 - 1.4.2 Site levels (contours), extent of earthworks, finished floor levels of house and garage;
 - 1.4.3 Fencing locations, material and height;
 - 1.4.4 Service locations, such as meter box and hot water service;
 - 1.4.5 Retaining wall locations, heights and materials;
 - 1.4.6 Driveway location (including setback from side boundary), material, colour, and pattern; location of the tap(s) in the front yard;
- 1.5 Floor plan(s) showing:
 - 1.5.1 Dimensioned floor plans (minimum scale 1:100);
 - 1.5.2 All elevations (minimum scale 1:100), indicating building heights, roof pitches, eaves size and external fixtures (air conditioning, solar panels, TV antenna/dish, water tanks etc.);

- 1.5.3 Schedule of external materials, finishes and colours including roof, walls, garage door and letterbox; and
- 1.5.4 Cross sections indicating details of walls constructed on boundaries and ceiling height.

You are responsible to ensure that your completed home complies with your Somerford design approval, Somerford Colour & Materials Palette, building approval, contract requirements and both local and state government planning and building legislation.

2.0 Statutory Obligations

It is the responsibility of the purchaser/builder/Building Surveyor to ensure compliance with any applicable statutory requirements, such as Building Regulations, planning requirements and current Victorian energy rating standards. Approval from the Design Assessment Panel (DAP) is not an endorsement that plans comply with such requirements.

3.0 Subdivision or Re Sale of Vacant Land

1. Only one dwelling is permitted per lot.
2. The Design Guidelines prohibit further subdivision of your allotment.

These are mandatory conditions and will not be waived under any circumstances.

The re-sale of vacant land is not permitted without prior approval from AVJennings.

If you choose to sell your vacant allotment you are required to obtain approval from AVJennings and must sign a Re-Sale Deed as per your contractual requirements. This is to ensure that these Design Guidelines are passed onto future purchasers and will bind them to the same controls as your neighbours.

Advertising signage on any vacant lot is not permitted. The following exceptions apply:

- 3.1.1 Display home signage on authorised display homes sites only;
- 3.1.2 Builders or trades persons identification signage (maximum 1200mm x 900mm) required during dwelling construction. These signs must be removed within 10 days of the issue of the occupancy permit; and
- 3.1.3 Any signage required by Local Council, Building Code of Australia or any other regulatory bodies.

4.0 Construction Timelines

To ensure Somerford develops in a timely and coordinated manner, construction of your home **MUST** commence within 12 months from the date of the settlement of your allotment.

Construction completion (Certificate of Occupancy by your Building Surveyor) **is to be issued within 18 months of settlement of your allotment. The landscaping of all gardens visible from the street or public realm (incl. corner/reserve lots) needs to be completed within the lesser 6 months of the occupancy permit being issued or 24 months from settlement;**

Completion of your home also includes all fencing, driveway and window furnishings to windows visible from the street.

You must not occupy your home until it is completed.

5.0 Small Lot Housing Code

Lots less than 300m² in size must comply with the requirements of the Small Lot Housing Code. Should a Design Guideline contradict a Small Lot Housing Code requirement, the Small Lot Housing Code will take precedence.

6.0 Design Requirements

- 6.1.1 Building Envelopes have been created for all lots to provide consistency through Somerford streetscapes. These Building Envelopes are contained in Section 11;
- 6.1.2 Eaves, gutters, fascias, verandahs, porches, porticos and balconies may encroach up to 1.5m into the front setback;
- 6.1.3 Garages must be built on or within 200mm of the boundary or they must setback a minimum of 1.0m;
- 6.1.4 Garage/s must be setback by a minimum of 5.5m from the primary street frontage;
- 6.1.5 The following encroachments into the approved side and rear setbacks are permitted by up to 600mm: a porch, verandah, masonry chimney, pergola, eave, fascia, gutter, screen (to extent needed to protect a neighbouring property from direct view), flues, pipes, water tanks, heating and cooling equipment and other services;
- 6.1.6 Where a lot is on a corner, the side street elevation of the dwelling must be set back a minimum of 2.0m. The following may encroach into the side street set back by a maximum of 1.0m: eaves, gutters, fascias, verandahs, porches, porticos, balconies, flues, pipes, water tanks, heating and cooling equipment and other services.

6.2 Part 5 of the Building Regulations 2018 - Siting

There are a number of requirements under Part 5 of the Building Regulations 2018 that the design and siting of your home must comply with.

Your building surveyor will check your compliance with these regulations.

For the items listed below, please refer to Part 5 of the Building Regulations 2018, which covers:

- Building height;
- Site coverage (maximum building footprint for all lots 300m² and over is 60%);
- Permeability (water permeable surfaces – garden etc.);
- Car parking;
- Side and rear setbacks;
- Walls on boundaries;
- Daylight to existing habitable room windows;
- Solar access to existing north-facing windows;
- Overshadowing of recreational private open space;
- Overlooking (of adjoining houses);
- Daylight to habitable room windows; and
- Private open space.

You can find this information at: www.vba.vic.gov.au

7.0 Somerford Design Criteria

In addition to Part 5 of the Building Regulations 2018, Somerford requires that homes are built in accordance with the following Design Guidelines.

These Design Guidelines are in addition to relevant state and local government planning and building legislation and the Building Code of Australia requirements. The relevant state and local government planning and building legislation and the Building Code of Australia requirements take precedence over these Design Guidelines.

Your homes must comply with the following:

7.1 Façade Style

Dwellings should exhibit a contemporary urban character that is complementary to the surrounding streetscapes and utilise an energy efficient and sustainable design wherever possible.

- 7.1.1 Houses with identical facades must be separated by a minimum of three houses in any direction (either side and across the road), excluding multiple lot dwellings and medium density housing.
- 7.1.2 Proposed design to include a verandah, porch, portico, balcony or an entry feature visible to the street that is minimum of 4m² in size and has a minimum depth of 1.5m;
- 7.1.3 Proposed design to exhibit a minimum of two different materials to the front façade e.g.: brick, lightweight cladding, stone, render, timber or external tiles of which the dominant material must not cover greater than 75% of the front façade excluding the sectional garage door and front entry door;
- 7.1.4 External colours and materials are to be selected from the Somerford Colour and Materials Palette included in these Guidelines. Any proposed deviations will be assessed on merit;
- 7.1.5 Proposed design must have a living room or bedroom window fronting the street;
- 7.1.6 Cement fibre sheet infill, above windows and doors visible to the street including any secondary street or public realm is prohibited;
- 7.1.7 Brick infill above garage door is mandatory when the façade of the garage is of face brick finish. Lightweight infill over garage door is allowed in a rendered garage façade, provided it is packed out in line with the rendered brickwork of the garage façade, and rendered. Other infills such as stained timber will be assessed on Architectural Merit.;
- 7.1.8 Allotments less than 15m wide must provide an entry door with at least 10% glazing;
- 7.1.9 Allotments equal to or greater than 15m must have a sidelight or double doors with at least 10% glazing;

- 7.1.10 No heritage or mock period ornamentation e.g. finials, glazing bars, mouldings and/or lace work are permitted; and
- 7.1.11 Roll down security shutters to windows and doors visible to the street or public realm are not permitted.

7.2 Ceiling Heights

Ceiling heights play a vital part in providing natural light and better air circulation within your home.

- 7.2.1 A minimum of 2550mm ceiling height to single storeys and ground floor level on double storeys is mandatory.

7.3 Roofs

- 7.3.1 A minimum roof pitch of 22 degrees is required for hipped or gabled roofs;
- 7.3.2 Alternative roof forms, including parapets may be considered on Architectural Merit;
- 7.3.3 Eaves are to be provided with a minimum depth of 450mm to all facades facing the street when a traditional pitched roof is utilized. Other architecturally acceptable roof forms and the use of parapets (including to facades facing the street) will be assessed on Architectural Merit.

Eaves must return a minimum 3.0m on all non-corner allotments (other than zero lot boundaries) and the full length to all corner/reserve allotments; and
- 7.3.4 Roof material must complement the style of the dwelling. Terracotta, concrete or slate roof tiles and corrugated Colorbond® are preferred. Galvanised or zinc finishes are not permitted.

Alternative roof forms will be considered by the DAP subject to Architectural merit.

7.4 Vehicle Accommodation

Garages are an important factor when designing your home, but they can become quite dominant to the streetscape.

Consideration of the following is required:

- 7.4.1 Garage Openings must not occupy more than 40% of the width of the street frontage, unless the dwelling is two or more storeys;
- 7.4.2 Garage doors must be section or panel lift where visible to the street. The colour of the garage door are to be selected from the Somerford Colour and Materials Palette;
- 7.4.3 Roller doors are not permitted unless screened to the street;
- 7.4.4 Garage/s must be setback by a minimum of 5.5m from the primary street frontage; and
- 7.4.5 Garage/s must be setback by a minimum of 840mm behind the main front wall of the dwelling.

7.5 Corner Allotments

Corner allotments are lots with two street frontages or has a side boundary that adjoins a park or walkway. Appropriate treatment of are an important factor for the streetscape. These dwellings require additional attention:

- 7.5.1 Consideration must be given to the side street/reserve elevations visible to the public realm. Both single and double storey dwellings on corners are to be designed incorporating feature elements that address both street frontages;
- 7.5.2 The area visible to the street forward of the return fence MUST include either a wrap-around verandah, porch/portico feature matching the façade, pergola structure or a similar architectural element that defines the side street/reserve elevation and provides articulation;
- 7.5.3 Windows MUST be included in the secondary façade (at both levels if a double storey house) and be of similar size and style to windows used on the front façade of your home;
- 7.5.4 Colours and materials MUST be continued around the corner of your home to at least the point where the side return fence is attached to the house;
- 7.5.5 To create a sense of community, letterboxes should provide a link to the house design;
- 7.5.6 No blank walls to the secondary façade are permitted; and
- 7.5.7 Landscape solutions will not be accepted as a corner treatment design solution.

7.6 Pound Road Tree Reserve Interface Allotments

This section applies on lot that front and directly abut the Pound Road Tree Reservation. These dwellings must be designed to facilitate public safety, surveillance and activate the Pound Road tree reserve by:

- 7.6.1 locating only a habitable room/s on each floor level of the dwelling on the Pound Road tree reserve elevation of a dwelling;
- 7.6.2 locating habitable room windows on each floor level of the dwelling on the Pound Road tree reserve elevation of a dwelling;
- 7.6.3 locating a door on the ground floor level of the dwelling on the Pound Road tree reserve elevation of a dwelling which provides direct access from a habitable room to the Pound Road tree reserve;
- 7.6.4 The landscaping of these Interface Allotments must facilitate public safety and surveillance of the Pound Road tree reserve by limiting the planting of tree, shrub, groundcover species between the dwelling and the Pound Road tree reserve boundary to species with a maximum height of 1.5m at maturity.

7.7 Carports, Driveways/Paths

- 7.7.1 Only one driveway per allotment is permitted, relocation of crossovers is not permitted;
- 7.7.2 Driveway must be constructed prior to occupation of the dwelling;
- 7.7.3 Driveway and path must be constructed from: brick, slate or natural stone pavers, exposed aggregate or colour through concrete;
- 7.7.4 Driveway and path colours are to be selected from the Somerford Colour & Material Palette;
- 7.7.5 Plain concrete driveways and paths are not permitted;
- 7.7.6 Driveway must taper to a crossover width of a maximum 4.0m at the front boundary;
- 7.7.7 Driveways must be offset from the side boundary a minimum of 400mm to provide a landscape strip; and
- 7.7.8 Carports are generally NOT permitted, however could be acceptable subject to design review by DAP.

7.8 Curtains and Blinds

Curtain/blinds can:

- 7.8.1 Curtains and/or blinds MUST be installed on all windows visible from the street or public realm prior to occupation of the dwelling; and
- 7.8.2 Security/screen doors facing the street or public realm MUST match the colour of window trims and be contemporary in style.

7.9 Fences

- 7.9.1 Side and rear fences MUST be 1.8m high Colorbond fencing in Monument colour. Any side boundary fencing forward of the building line must be raked to a height no greater than 1.0m;
- 7.9.2 Return fence/gate MUST be 1.8m high Colorbond fencing in Monument colour and set back a minimum 1.0m and maximum of 3.0m from the main building line on all non-corner allotments;
- 7.9.3 Side street fencing MUST be 1.8m high Colorbond fencing in Monument colour. Return (wing) fences from the side street fence back to the building are to be set back a minimum 9.0m from the main street frontage. Where a Corner treatment has been applied to a dwelling on a corner allotment, the return (wing) fence must be located behind the corner treatment, leaving the corner treatment exposed to the street. Side street fence return to the building should be a minimum 3.0m behind façade; and
- 7.9.4 Front boundary fencing is ONLY permitted within Somerford, if permeable and to a maximum of 1.2m in height. Fencing design should be in character with the design of the home.

7.10 Letterboxes

- 7.10.1 Letterboxes should be designed to relate to the house design, using similar materials and colours from the Somerford Colour & Material Palette and must be erected within three months of the Certificate of Occupancy being issued; and
- 7.10.2 The size and position of the letterbox must comply with Australia Post's requirements. The street number must be clearly identifiable, suitably sized and located and must not interfere with the overall streetscape.

7.11 Ancillary Items

Ancillary items which impact the streetscape such as garden sheds, retaining walls, gazebos and swimming pools require additional approval by the Somerford Design Assessment Panel.

- 7.11.1 All ancillary structures require the approval of the DAP prior to construction;
- 7.11.2 Ancillary structures larger than 10m² should be constructed from materials and colours which complement the dwelling and will require approval from Council;
- 7.11.3 Small sheds with a floor area less than 10m² that are not visible from the street or public realm must be constructed from Colorbond® and complement the dwelling and fence colour;
- 7.11.4 Air conditioners (evaporative and condenser units), hot water services, clothes lines, satellite dishes, rainwater tanks, spa pumps and solar pool heating must not be visible from the street or public realm;
- 7.11.5 Solar hot water panels, solar panels, and TV antennas must not be placed on the front facing roof and have minimal visibility from the street or public realm; and
- 7.11.6 Plumbing waste and vent pipework must be concealed and vent pipes not located on the front plane or within the front 5m of any part of the roof and ideally not visible from the street or public realm.
- 7.11.7 Lots which are 300 sqm and over must install a minimum 2,000 litre rainwater tank, prior to Occupancy Permit. The rainwater tank must be connected to supply water to all toilets and the washing machine tap to any proposed laundry area.

7.12 Retaining Walls

- 7.12.1 Any single retaining wall must not exceed 1.2m in height. Two or more walls may be used if their faces are at least 500mm apart, and the area between is used as garden beds;
- 7.12.2 Timber sleeper retaining walls are not permitted where the height exceeds 400mm and are visible from the street or public realm. Materials permitted include brick, rendered masonry and feature stone; and
- 7.12.3 Retaining walls on or within 1m of the boundary and/or over 1.0m in height require a building permit to be obtained.

7.13 NBN

Somerford is an NBN enabled estate. Phone and internet services will be provided by retailers over the National Broadband Network. Connection details are available at www.nbnco.com.au

7.14 Vehicles

You are NOT permitted to park unregistered vehicles in your driveway, front yard or on the street.

Commercial vehicles, boats and caravans may be parked on a lot but MUST be screened from public view.

8.0 Maintenance of Allotments and the Nature Strip

You must NOT allow rubbish to accumulate or allow excessive growth of grass or weeds upon your allotment, both before and after construction of the dwelling.

All infrastructure and landscape within the nature strip is to be protected during construction. Any damage to trees, turf or services located on the nature strip is the responsibility of the owner of the lot to reinstate at their sole cost.

The owner and their builder must meet all environmental and WHS requirements of all authorities and must keep the site in a neat and tidy condition throughout the construction period. No building materials or rubbish are to be left on the nature strip at any time during construction. No building materials or spoils are to be placed on any adjoining lot during construction.

You MUST comply with any request by AVJennings or council to clean up an overgrown site or builder's materials, and if you fail to comply within 14 days of receiving a written notice from AVJennings, then you will be liable to reimburse us all costs, including administration costs, incurred in the removal of such materials and repairs as referenced by the relevant clause in the contract.

9.0 Landscaping

All homeowners at Somerford are required to establish landscaped and turfed areas in their front yard. No artificial turf will be allowed. In addition, you MUST maintain the nature strip and street tree in front of the home.

Quality landscaping that is maintained, improves the look and feel of your streetscape and enhances the value of your investment and the community. The landscape is a large contributor to the appearance of the community and when good and regular maintenance is undertaken, it creates a desirable community.

- 9.1 The landscaping of all gardens visible from the street or public realm (incl. corner/reserve lots) needs to be completed within a lesser of 6 months of the occupancy permit being issued or 24 months from settlement;
- 9.2 The front garden design of lots should limit the amount of sealed impervious surfaces to a maximum of 50% with the balance being landscape using permeable materials including gravel, trees, shrubs, ground covers or grass. It should encourage rainwater to infiltrate into the garden rather than draining out to the stormwater system;
- 9.3 Establishment of grass to the nature strip/s adjacent to your allotment and ongoing maintenance of the nature strip is your responsibility. At establishment the nature strip should be levelled, top dressed and seeded as a minimum standard;

- 9.4 Careful consideration should be given to the species and size of trees and shrubs relative to the proximity of the dwelling when making your plant selections as not to cause any long-term damage to your home; and
- 9.5 No vehicles are permitted to drive or be parked on nature strips at any time. After construction is completed, no commercial vehicles, caravans, trailers or watercraft, with the exception of registered 'Light Vehicles' are permitted to be parked or stored forward of the building line.

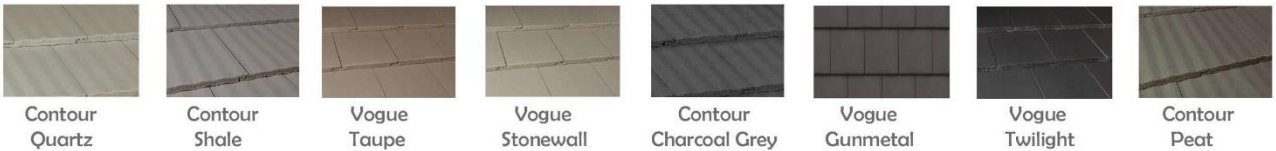
10.0 Somerford Colour & Materials Palette

Colorbond Roof



Roof Tiles

The following samples are from Boral. Roof tiles of similar colour and profile will be considered.



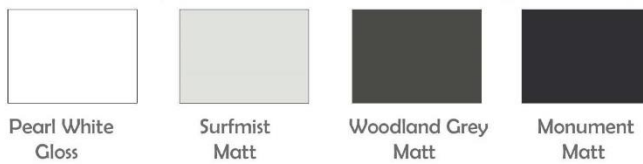
Face Brick

The following samples are from PGH. Bricks of similar colour and profile will be considered.



Windows

The following samples are from Dowell. Windows of similar colour will be considered. Timber windows with a stained natural finish or painted in a similar colour to the samples below are highly encouraged.



Garage Doors

The following samples are from B&N Doors. Garage Doors of similar colour will be considered.



Driveways

The following samples are from Hanson. Driveways of similar colours will be considered.



11.0 Stage 1 - Building Envelopes

TO BE INSERTED