
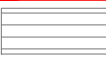
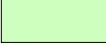






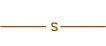
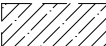




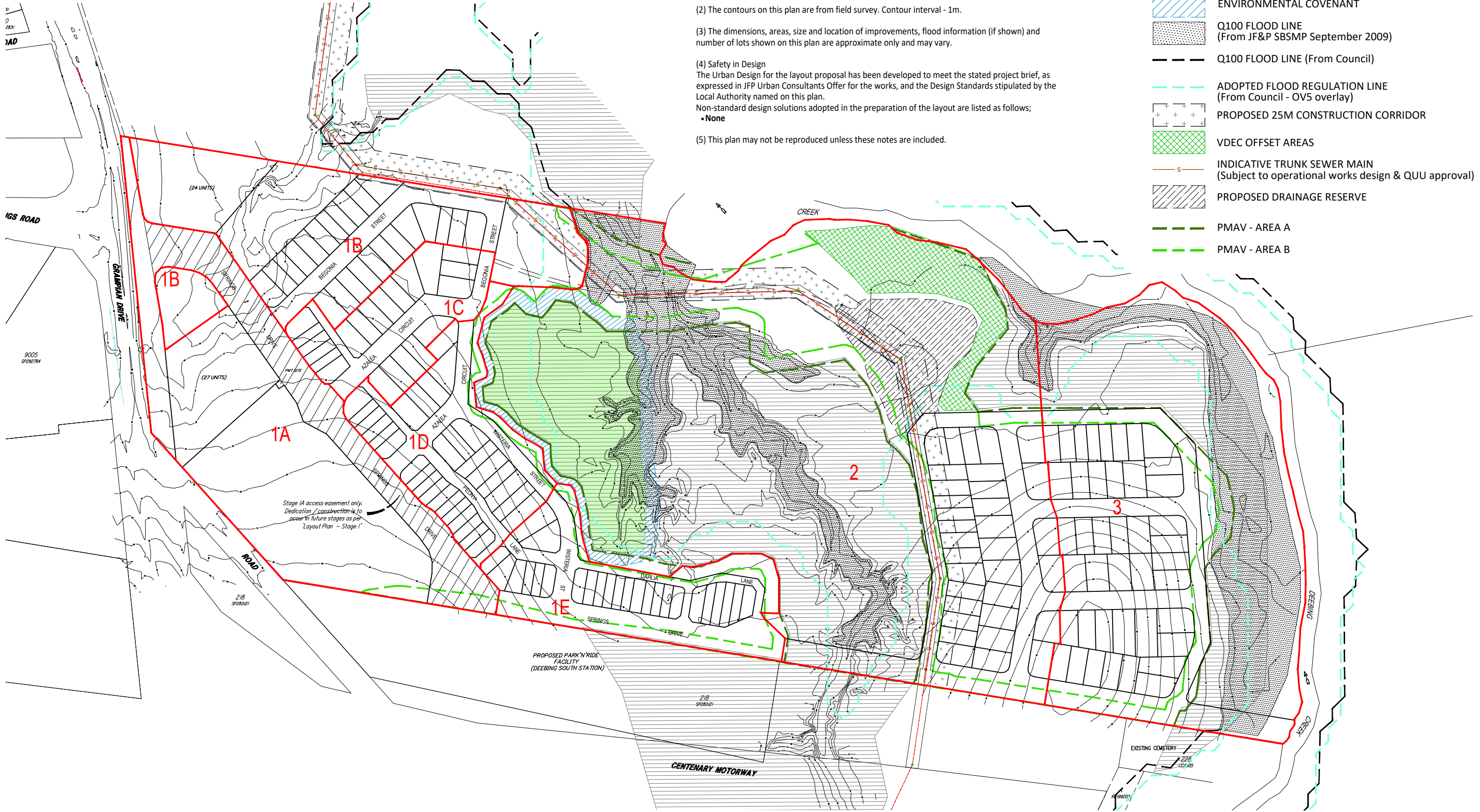
PROPERTY DESCRIPTION
 LOT 196 ON S3157
 PARISH OF PURGA
 COUNTY OF CHURCHILL
 TOTAL AREA 30.35 ha

NOTES

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LEGEND

-  STAGES 1-3
-  DOMINANT REMNANT ENDANGERED REGIONAL ECOSYSTEM
-  SWAMP TEA-TREE (12.3.3c)
-  ENVIRONMENTAL COVENANT
-  Q100 FLOOD LINE (From JF&P SBSMP September 2009)
-  Q100 FLOOD LINE (From Council)
-  ADOPTED FLOOD REGULATION LINE (From Council - OV5 overlay)
-  PROPOSED 25M CONSTRUCTION CORRIDOR
-  VDEC OFFSET AREAS
-  INDICATIVE TRUNK SEWER MAIN (Subject to operational works design & QUU approval)
-  PROPOSED DRAINAGE RESERVE
-  PMAV - AREA A
-  PMAV - AREA B




Stage 1A access easement only.
 Dedication / construction to occur in future stages as per 'Layout Plan - Stage 1'

PROPOSED PARK'N'RIDE FACILITY (DEEBING SOUTH STATION)

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 URBAN CONSULTANTS

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 76 Ernest Street,
 South Brisbane Qld 4101
 P 07 3012 0100 W www.jfp.com.au
 JFP URBAN CONSULTANTS PTY LTD A.C.N. 050 414 045

PLANNERS
 URBAN DESIGNERS
 SURVEYORS
 ENGINEERS
 LANDSCAPE ARCHITECTS

NORTH: 

SCALE:
 SCALE: @ A1 1:1500 @ A3 1:3000
 0 15 30 45 60 75 90 105 120 135 150 165 180 metres
 THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A1 SIZE)
 DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE

DESIGNED	TJM	CHECKED	KH	DATUM	AHD
DRAWN	TJM	APPROVED	ST	L.A.	IPSWICH CITY COUNCIL

ISSUES:	ISSUE:	DATE:	INIT:
S	POD NOTATIONS ADDED	20-02-24	TJM
R	STREET NAMES ADDED	02-07-19	TJM
Q	ROUNDBABOUT UPDATED	05-02-19	TJM
P	PMT SITES RELOCATED	13-12-18	TJM
N	LAYOUT AMENDED - STAGES 1C & 1D	19-07-18	TJM
A	ORIGINAL ISSUE	08-12-17	TJM

TITLE:
**PLAN OF DEVELOPMENT -
 OVERALL STAGING PLAN**
AVJENNINGS PROPERTIES LIMITED
144 GRAMPYAN DRIVE, DEEBING HEIGHTS

DETAILS:
 JOB NUMBER: B3771PA1_DA1 D1 S
 PLAN: ISSUE:
 SHEET: 1 OF 5
 DATE: 20th February 2024

PROPERTY DESCRIPTION
 PART OF LOT 196 ON S3157
 PARISH OF PURGA
 COUNTY OF CHURCHILL
 TOTAL AREA 11.53 ha

NOTES

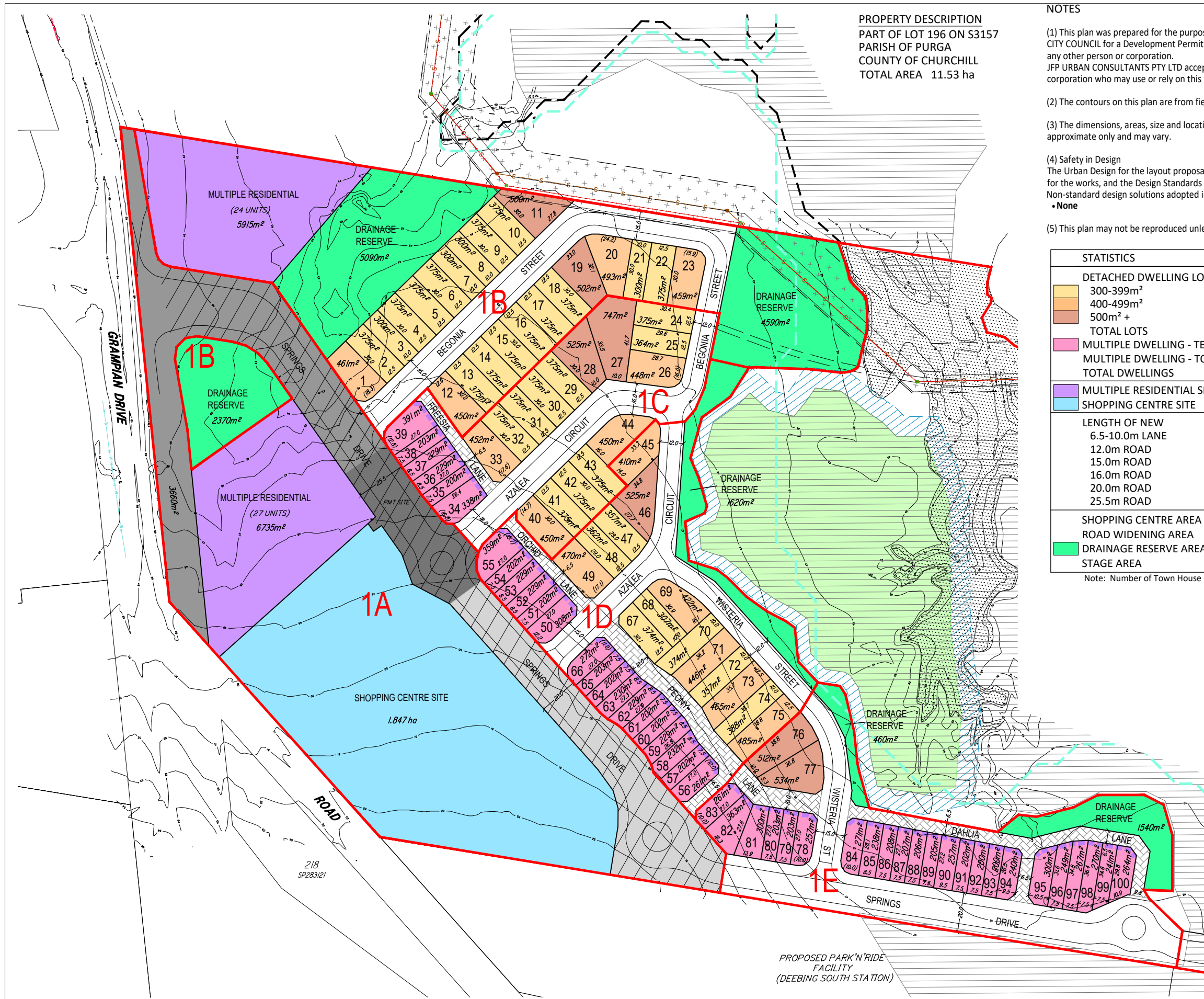
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STATISTICS	STAGE 1A	STAGE 1B	STAGE 1C	STAGE 1D	STAGE 1E	TOTAL
DETACHED DWELLING LOTS						
300-399m ²	0	17	9	7	0	33
400-499m ²	0	4	4	6	0	14
500m ² +	0	2	2	1	2	7
TOTAL LOTS	0	23	15	14	2	54
MULTIPLE DWELLING - TERRACE LOTS						
MULTIPLE DWELLING - TERRACE LOTS	0	0	6	17	23	46
MULTIPLE DWELLING - TOWN HOUSE UNITS						
MULTIPLE DWELLING - TOWN HOUSE UNITS	27	24	0	0	0	51
TOTAL DWELLINGS	27	74	21	31	25	151
MULTIPLE RESIDENTIAL SITES						
MULTIPLE RESIDENTIAL SITES	1	1	0	0	0	2
SHOPPING CENTRE SITE						
SHOPPING CENTRE SITE	1	0	0	0	0	1
LENGTH OF NEW						
6.5-10.0m LANE	0	0	60m	185m	250m	495m
12.0m ROAD	0m	30m	40m	130m	75m	275m
15.0m ROAD	0m	70m	150m	85m	35m	340m
16.0m ROAD	0m	155m	0	0	0	155m
20.0m ROAD	0m	200m	0	0	235m	435m
25.5m ROAD	0m	220m	0	0	0	220m
SHOPPING CENTRE AREA						
SHOPPING CENTRE AREA	1.849ha	-	0	0	0	1.849ha
ROAD WIDENING AREA						
ROAD WIDENING AREA	0.37ha	-	0	0	0	0.37ha
DRAINAGE RESERVE AREA						
DRAINAGE RESERVE AREA	-	1.205ha	0	0.162ha	0.2ha	1.567ha
STAGE AREA	4.02ha	2.77ha	1.44ha	1.61ha	1.69ha	11.53ha

Note: Number of Town House Units is assumed on 40 dwellings/ha

LEGEND

- STAGING
- DOMINANT REMNANT ENDANGERED REGIONAL ECOSYSTEM
- SWAMP TEA-TREE (12.3.3c)
- ENVIRONMENTAL COVENANT
- Q100 FLOOD LINE (From JF&P SBSMP September 2009)
- Q100 FLOOD LINE (From Council)
- ADOPTED FLOOD REGULATION LINE (From Council - OV5 overlay)
- REAR LANE ACCESS EASEMENT (6.5m WIDE)
- PROPOSED 25M CONSTRUCTION CORRIDOR
- PROPOSED ACCESS AND SERVICES EASEMENT-STAGE 1A
- ROAD TO BE DEDICATED AND CONSTRUCTED AT STAGE 1B
- ROAD TO BE DEDICATED AT STAGE 1B (CONSTRUCTION AT STAGE 1C)
- ROAD TO BE DEDICATED AT STAGE 1B (CONSTRUCTION AT STAGE 1D)
- SECONDARY FRONTAGE
- INDICATIVE TRUNK SEWER MAIN (Subject to operational works design & QUU approval)



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PLANNERS
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NORTH:

SCALE:
 SCALE: @ A1 1:1000 @ A3 1:2000
 0 10 20 30 40 50 60 70 80 90 100 110 120 metres

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DESIGNED	TJM	CHECKED	ST	DATUM	AHD
DRAWN	DWW	APPROVED	ST	L.A.	IPSWICH CITY COUNCIL

ISSUES:

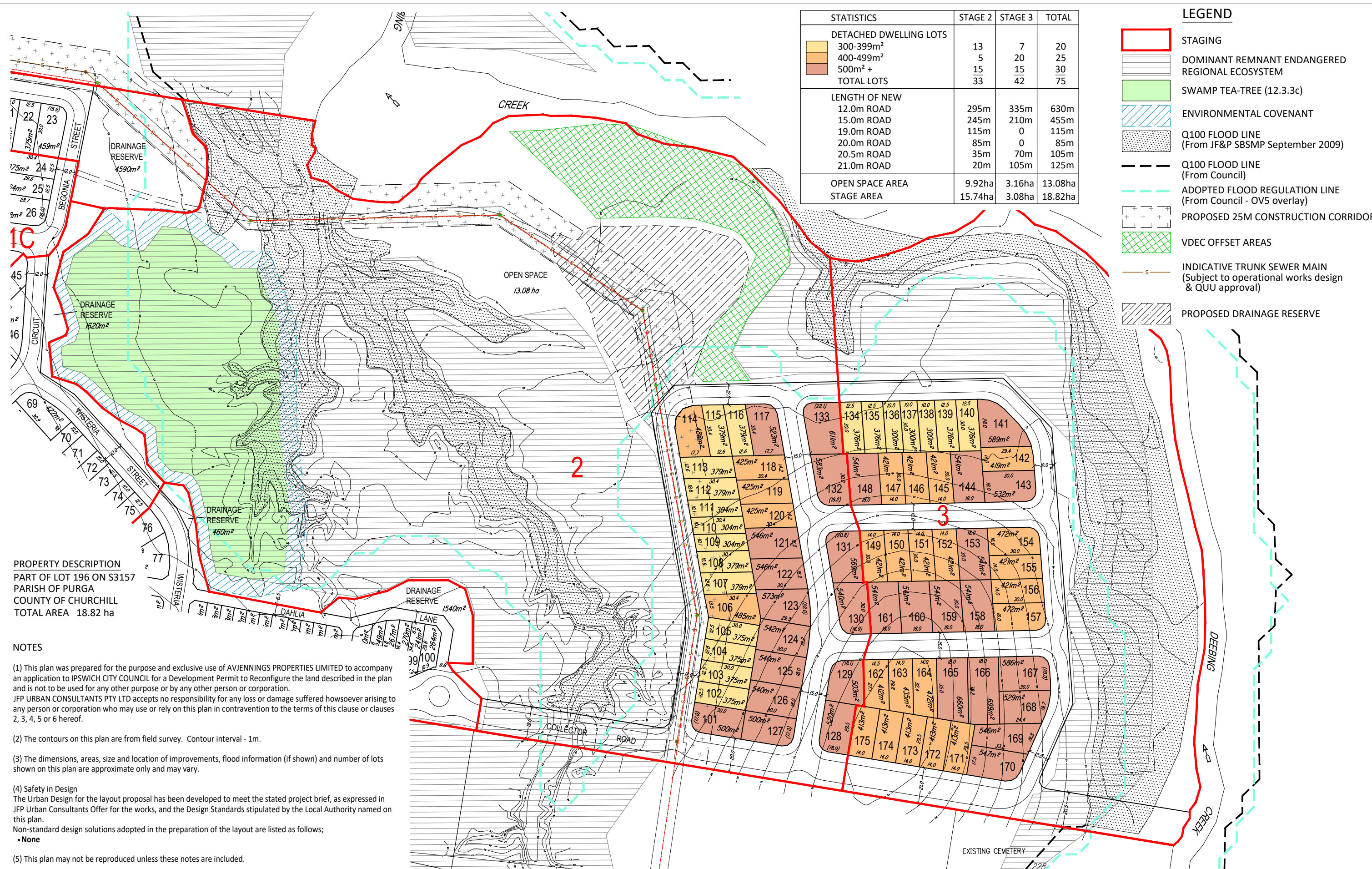
S	POD NOTATIONS ADDED	20-02-24	TJM
R	STREET NAMES ADDED	02-07-19	TJM
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P	PMT SITES RELOCATED	13-12-18	TJM
N	LAYOUT AMENDED - STAGES 1C & 1D	19-07-18	TJM
A	ORIGINAL ISSUE	08-12-17	TJM

ISSUE: DETAILS: DATE: INIT:

TITLE:

PLAN OF DEVELOPMENT - LAYOUT PLAN - STAGE 1
AVJENNINGS PROPERTIES LIMITED
144 GRAMPIAN DRIVE, DEEBING HEIGHTS

DETAILS:
 JOB NUMBER: B3771PA1_DA1 D1 S
 PLAN: ISSUE:
 SHEET: 2 OF 5
 DATE: 20th February 2024



STATISTICS	STAGE 2	STAGE 3	TOTAL
DETACHED DWELLING LOTS			
300-399m ²	13	7	20
400-499m ²	5	20	25
500m ² +	15	15	30
TOTAL LOTS	33	42	75
LENGTH OF NEW			
12.0m ROAD	295m	335m	630m
15.0m ROAD	245m	210m	455m
19.0m ROAD	115m	0	115m
20.0m ROAD	85m	0	85m
20.5m ROAD	35m	70m	105m
21.0m ROAD	20m	105m	125m
OPEN SPACE AREA			
STAGE AREA	9.92ha	3.16ha	13.08ha
	15.74ha	3.08ha	18.82ha

LEGEND	
	STAGING
	DOMINANT REMNANT ENDANGERED REGIONAL ECOSYSTEM
	SWAMP TEA-TREE (12.3.3c)
	ENVIRONMENTAL COVENANT
	Q100 FLOOD LINE (From JF&P SBSMP September 2009)
	Q100 FLOOD LINE (From Council)
	ADOPTED FLOOD REGULATION LINE (From Council - OV5 overlay)
	PROPOSED 25M CONSTRUCTION CORRIDOR
	VDEC OFFSET AREAS
	INDICATIVE TRUNK SEWER MAIN (Subject to operational works design & QUU approval)
	PROPOSED DRAINAGE RESERVE

PROPERTY DESCRIPTION
 PART OF LOT 196 ON S3157
 PARISH OF PURGA
 COUNTY OF CHURCHILL
 TOTAL AREA 18.82 ha

- NOTES**
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 BRISBANE - SUNSHINE COAST - CENTRAL QLD BRISBANE - JFP House 76 Ernest Street, South Brisbane Qld 4101 P 07 3012 0100 W www.jfp.com.au JFP URBAN CONSULTANTS PTY LTD A.C.N. 050 414 045	PLANNERS URBAN DESIGNERS SURVEYORS ENGINEERS LANDSCAPE ARCHITECTS	NORTH: 	SCALE: @ A1 1:1000 @ A3 1:2000 	ISSUES: S POD NOTATIONS ADDED 20-02-24 TJM R STREET NAMES ADDED 02-07-19 TJM Q ROUNDABOUT UPDATED 05-02-19 TJM P PMT SITES RELOCATED 13-12-18 TJM N LAYOUT AMENDED - STAGES 1C & 1D 19-07-18 TJM A ORIGINAL ISSUE 08-12-17 TJM	TITLE: PLAN OF DEVELOPMENT - LAYOUT PLAN - STAGES 2 & 3 AVJENNINGS PROPERTIES LIMITED 144 GRAMPIAN DRIVE, DEEBING HEIGHTS	DETAILS: JOB NUMBER: B3771PA1_DA1 D1 S PLAN: ISSUE: SHEET: 3 OF 5 DATE: 20th February 2024
			DESIGNED TJM CHECKED ST DATUM AHD DRAWN DWW APPROVED ST L.A. IPSWICH CITY COUNCIL	COPYRIGHT © 2024 JFP URBAN CONSULTANTS PTY LTD. THIS DOCUMENT MAY NOT BE COPIED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS IN PART OR IN WHOLE WITHOUT THE WRITTEN CONSENT OF JFP URBAN CONSULTANTS PTY LTD.		

Draft Submitted for Revised DA Mar 2024

General

- All development is to be undertaken generally in accordance with the approved 'Plan of Development - Layout Plan - Stage 1' and 'Plan of Development - Layout Plan - Stages 2 & 3'.
- The maximum height of buildings must not exceed 9m.

Setbacks

- Setbacks are as per the site development table shown on this plan, unless subject to statutory setbacks for services or otherwise specified:
 - Boundary setbacks are measured to the wall of the structure and not to the eaves.
 - Where built to boundary walls are not adopted, side boundary setbacks shall be in accordance with the site development table shown on this plan.
 - Maximum length of built to boundary wall shall be 75% of the boundary length and have a maximum height of 4 metres.
- OR
- 'MULTIPLE DWELLING - TERRACE LOTS' shall have dual built to boundary walls for a maximum of 75% of the boundary length and a maximum height of 9m on boundaries shared with another 'MULTIPLE DWELLING - TERRACE LOTS'.
- Eaves, hoods, screens, and architectural elements may extend 1 metre within nominated setback or to a minimum of 450mm from the boundary, whichever is the lesser (except for built to boundary walls). Gutters and downpipes must not extend past the property boundary.

Parking and Driveways

- Minimum off-street parking requirements are 1 covered space (5.6m x 3m) and 1 additional parking space which may be in tandem and uncovered.
- Direct car access for Terrace Lots are to be located as per the location shown on the Plan of Development.
- Double garages may be permitted on 2 storey buildings with frontages of less than 12.5m. This is subject to the garage being setback 1.5m behind the face of the main dwelling. Double garages are not permitted on lots with frontages of 10m or less. Double garages are permitted on single storey buildings where the lot width is \geq 12.5m at the line of the garage door.
- Driveways are a maximum of
 - 3.0m wide at the lot boundary where serving a single garage
 - 4.8m wide at the lot boundary where serving a double garage

Site Cover and Amenity

- Site cover for each house is not to exceed 70% on lots less than or equal to 350m²
- Site cover for each house is not to exceed 60% on lots greater than 350m².
- Private open space accessible from the main living area must be no less than 12m² with a minimum dimension of 2.4m wide.
- Dwellings with their main living above ground must have a minimum area of private open space of at least
 - 8sqm / 1 bedroom with a minimum dimension of 2 metres
 - 12sqm / 2 bedroom with a minimum dimension of 2.5 metres
 - 15sqm / 3 bedroom with a minimum dimension of 3 metres

Fencing

- Fencing forward of the front facade is not permitted on the primary road frontage.
- Secondary street frontage to be at least 25% transparent with a maximum height of 1.8 metres.
- Fencing to all side and rear boundaries to be a maximum height of 1.8 metres.
- Park front fencing to be at least 50% transparent with a maximum height of 1.8 metres.

Building Design

- A directly facing habitable room window within 3 metres of a neighbouring dwelling, park or footpath must have
 - A fixed obscure glazing in part of the window below 1.5 metres above floor levels; or
 - A privacy screen that covers a minimum of 50% of the window view.
- Where a direct view exists into the private open space of an adjoining dwelling, the outlook from windows, stairwells, terraces, decks and other private, communal or public areas, is obscured or screened by privacy screens, with maximum permeability of 50%.

Definitions

- Building Height:** means the vertical distance between natural surface level of the ground and the apex of a building's roof, but not including antennas or flues.
 - Secondary Street Frontage:** is the lot boundary with the greater length
 - Site Cover:** the proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.
- The term does not include:
- any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure
 - eaves, screens and sun shading devices.
- Setbacks to PMT sites are to be in accordance with any easement requirements.

SETBACKS	ALLOTMENTS (300-399m ²)		ALLOTMENTS (400-499m ²)		ALLOTMENTS (500m ² +)	
	GROUND	FIRST	GROUND	FIRST	GROUND	FIRST
FRONT PRIMARY FRONTAGE	2.4m*	2.4m	2.4m*	2.4m	2.4m*	2.4m
REAR (UNLESS SHOWN OTHERWISE)	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m
SIDE - GENERAL LOTS						
BUILD TO BOUNDARY	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m
NON BUILD TO BOUNDARY	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
CORNER LOTS - SECONDARY FRONTAGE	1.5m*	1.5m	1.5m*	1.5m	1.5m*	1.5m
PARK FRONTAGE - SIDE / REAR OF LOT	NIL to 1.0m Setback to Verandah					

(* 5.0m setback to garage or carport door)

MULTIPLE DWELLING - TERRACE LOTS: Please refer to the setback provisions within 'Economic Development Queensland - Low Rise Buildings - PDA Guideline No. 07 May 2015', or as amended.

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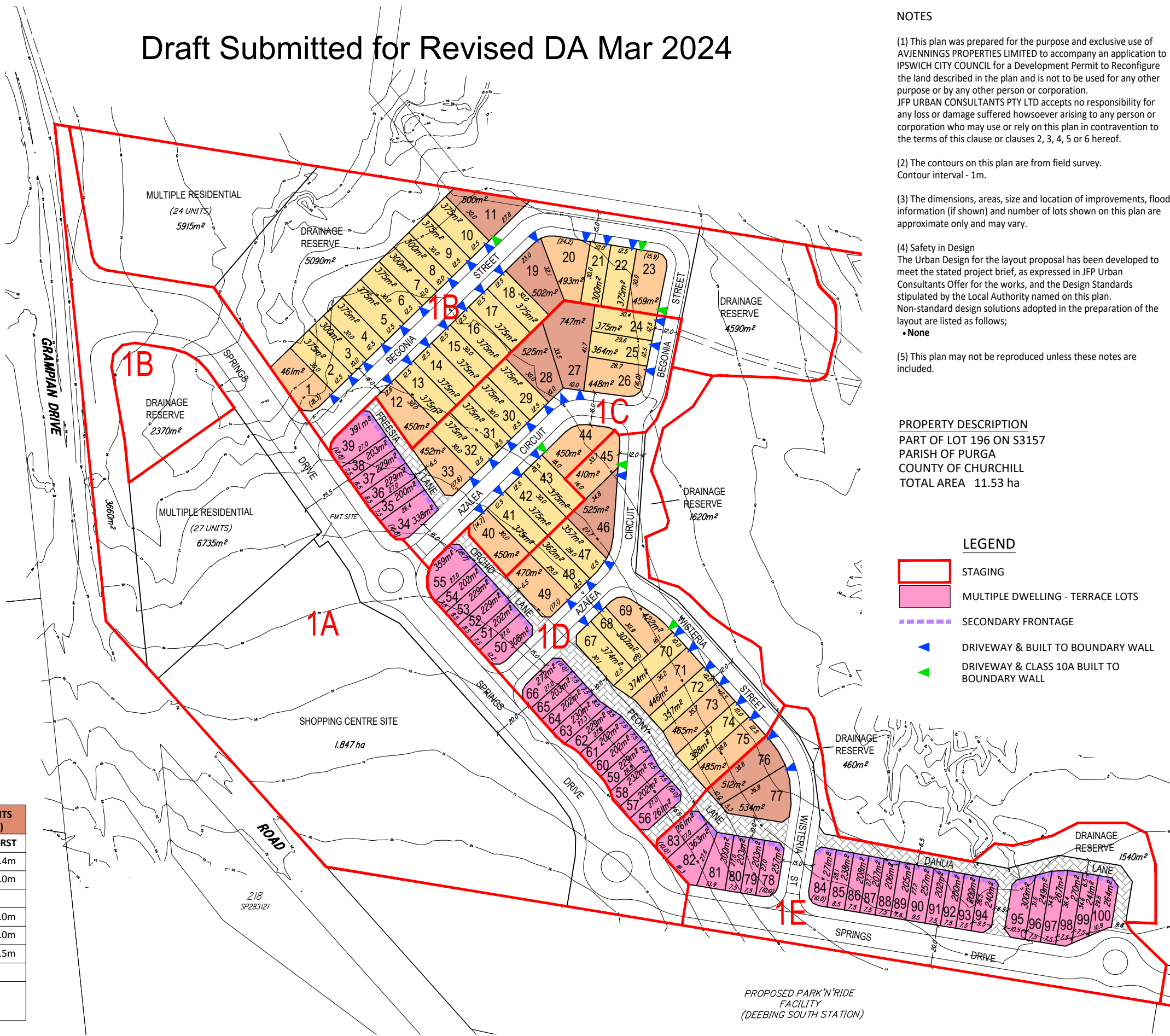
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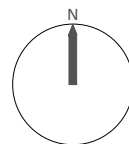
PART OF LOT 196 ON S3157
PARISH OF PURGA
COUNTY OF CHURCHILL
TOTAL AREA 11.53 ha

LEGEND

- STAGING
- MULTIPLE DWELLING - TERRACE LOTS
- SECONDARY FRONTAGE
- ▶ DRIVEWAY & BUILT TO BOUNDARY WALL
- ▶ DRIVEWAY & CLASS 10A BUILT TO BOUNDARY WALL



NORTH:



SCALE:

SCALE: @ A1 1:1000 @ A3 1:2000
0 10 20 30 40 50 60 70 80 90 100 110 120 metres

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DRAWN	DWW	APPROVED	ST	L.A.	IPSWICH CITY COUNCIL

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A	ORIGINAL ISSUE	08-12-17	TJM

TITLE:

PLAN OF DEVELOPMENT - NOTATIONS - STAGE 1
AVJENNINGS PROPERTIES LIMITED
144 GRAMPIAN DRIVE, DEEBING HEIGHTS

DETAILS:

JOB NUMBER: B3771PA1_DA1 D1 S
SHEET: 4 OF 5
DATE: 20th February 2024

BRISBANE - SUNSHINE COAST - CENTRAL QLD
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- Site Cover:** the proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.
The term does not include:
 - any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure
 - eaves, screens and sun shading devices.
 Setbacks to PMT sites are to be in accordance with any easement requirements.

SETBACKS	ALLOTMENTS (300-399m ²)		ALLOTMENTS (400-499m ²)		ALLOTMENTS (500m ² +)	
	GROUND	FIRST	GROUND	FIRST	GROUND	FIRST
FRONT PRIMARY FRONTAGE	2.4m*	2.4m	2.4m*	2.4m	2.4m*	2.4m
REAR (UNLESS SHOWN OTHERWISE)	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m
SIDE - GENERAL LOTS						
BUILD TO BOUNDARY	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m
NON BUILD TO BOUNDARY	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
CORNER LOTS - SECONDARY FRONTAGE	1.5m*	1.5m	1.5m*	1.5m	1.5m*	1.5m
PARK FRONTAGE - SIDE / REAR OF LOT	NIL to 1.0m Setback to Verandah					

(* 5.0m setback to garage or carport door)
MULTIPLE DWELLING - TERRACE LOTS: Please refer to the setback provisions within 'Economic Development Queensland - Low Rise Buildings - PDA Guideline No. 07 May 2015', or as amended.

LEGEND

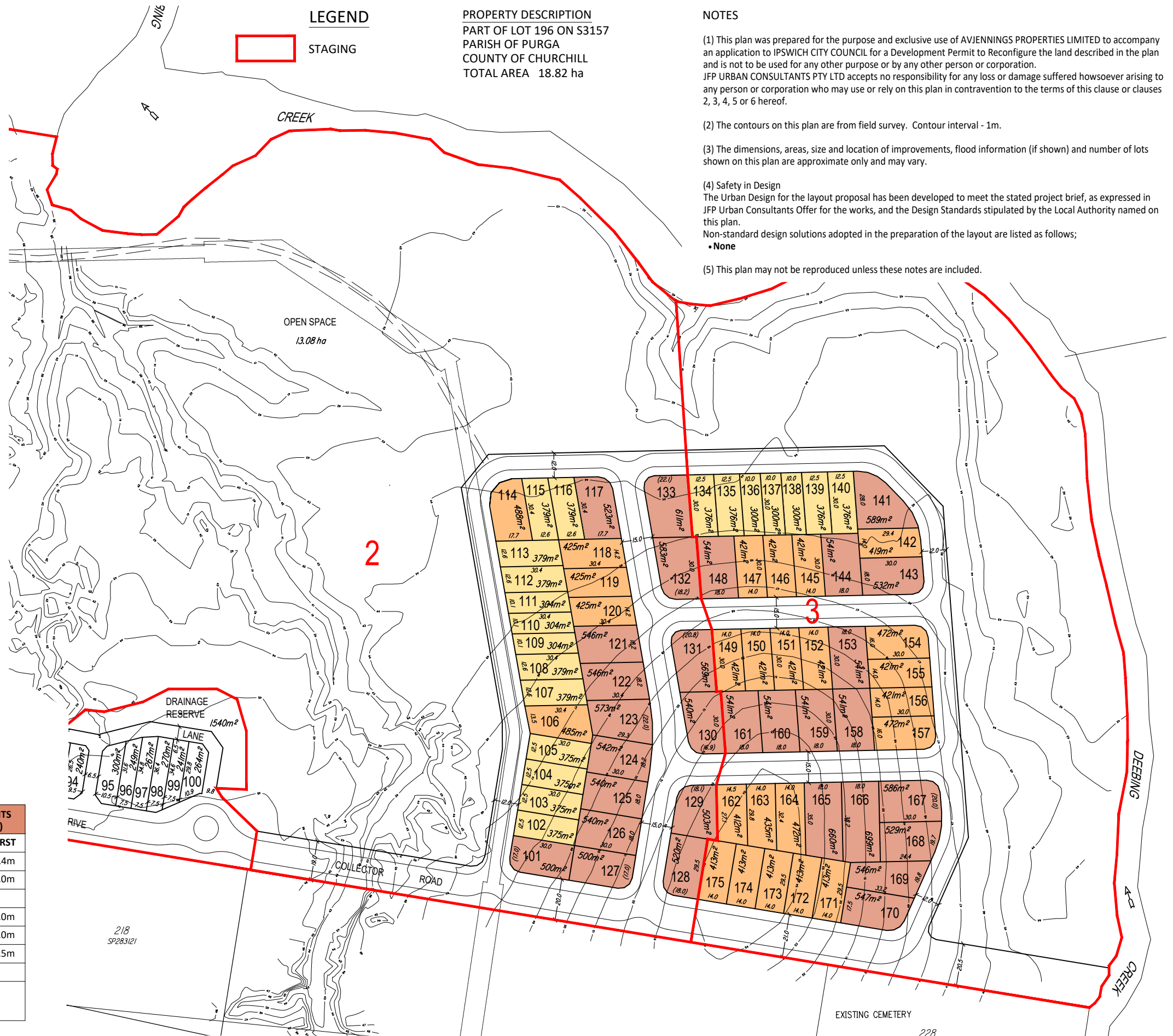
STAGING

PROPERTY DESCRIPTION

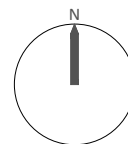
PART OF LOT 196 ON S3157
PARISH OF PURGA
COUNTY OF CHURCHILL
TOTAL AREA 18.82 ha

NOTES

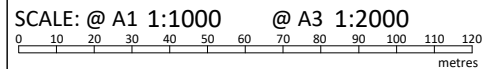
- This plan was prepared for the purpose and exclusive use of AVJENNINGS PROPERTIES LIMITED to accompany an application to IPSWICH CITY COUNCIL for a Development Permit to Reconfigure the land described in the plan and is not to be used for any other purpose or by any other person or corporation.
JFP URBAN CONSULTANTS PTY LTD accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention to the terms of this clause or clauses 2, 3, 4, 5 or 6 hereof.
- The contours on this plan are from field survey. Contour interval - 1m.
- The dimensions, areas, size and location of improvements, flood information (if shown) and number of lots shown on this plan are approximate only and may vary.
- Safety in Design
The Urban Design for the layout proposal has been developed to meet the stated project brief, as expressed in JFP Urban Consultants Offer for the works, and the Design Standards stipulated by the Local Authority named on this plan.
Non-standard design solutions adopted in the preparation of the layout are listed as follows;
 - None
- This plan may not be reproduced unless these notes are included.



NORTH:



SCALE:



THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A1 SIZE)
DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE

DESIGNED	TJM	CHECKED	ST	DATUM	AHD
DRAWN	DWW	APPROVED	ST	L.A.	IPSWICH CITY COUNCIL

ISSUES:

ISSUE	DETAILS	DATE	INIT:
S	POD NOTATIONS ADDED	20-02-24	TJM
R	STREET NAMES ADDED	02-07-19	TJM
Q	ROUNDOABOUT UPDATED	05-02-19	TJM
P	PMT SITES RELOCATED	13-12-18	TJM
N	LAYOUT AMENDED - STAGES 1C & 1D	19-07-18	TJM
A	ORIGINAL ISSUE	08-12-17	TJM

TITLE:

PLAN OF DEVELOPMENT - NOTATIONS - STAGES 2 & 3
AVJENNINGS PROPERTIES LIMITED
144 GRAMPIAN DRIVE, DEEBING HEIGHTS

DETAILS:

JOB NUMBER: B3771PA1_DA1 D1 S
SHEET: 5 OF 5
DATE: 20th February 2024

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PLANNERS
URBAN DESIGNERS
SURVEYORS
ENGINEERS
LANDSCAPE ARCHITECTS