Pursuant to the Economic
Development Act 2012, this plan
forms part of the MEDQ
Delegate's approval for
Approval No.: 2834/19/MAPDA/B
Date: 3 May 2022

$\stackrel{8}{1}$

2. The maximum height of the building shall not exceed 9 metres, Setbacks
3. Setbacks are as per the Plan of Developent Table unless otherwise noted on the Building Envelope Plan.
4. Setbacks are measure to the wall of the dwelling or edge of balcony.
5. The location of built to boundary walls are neminted the Development.
6. Where built to boundary walls are not implemented side setbacks shal be adopted in accordance with the Plan of Development Table.
length of built to boundary wall shall be $75 \%$ of the boundary length and have a maximum height of 4 metres.
Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of $75 \%$ of the boundary length and a maximum height of $9 m$
on boundaries shared with another Terrace and Premium Terrace lo.
8. All exposed sections of buil-to-boundary walls are to be finished with a quality cladding complimentary to the overall home design.
9. Eaves, hoods, screens, and architectural elements may extend 1 metre whichever is the lesser (except for built to boundary walls). Gutters and ownoipes must no extend past the property boundary.

## Parking and Driveways

10. A minimum of 2 car spaces per dwelling, at least 1 of which is
enclosed.
11. There is to be a maximum of 1 driveway per dwelling except for corn lots.
12. Direct car access for Terrace and Premium Terrace Lots are to locate
.
Site Cover and Amenity
13. Site cover is as per the Plan of Development Table
14. (a) Private open space accessible from the ground floor must not be
less than 155 sqm with a minimum dimension of 3 metres
(b) Patios and covered outdoor living spaces or recreation areas
the private open space requirements.
15. Dwellings with their main living above ground must have a minimum
area of private open space of at least
a. 8 sam $/ 1$ bedroom with a minimum dimension of 2 metres
b. $12 \mathrm{sqm} / 2$ bedroom with a minimum dimension of 2.5 metres
c. $15 \mathrm{sam} / 3$ bedroom with a minimum dimension of 3 metre

Fencing
6. Primary street frontage fencing to be minimum $50 \%$ transparent with a maximum height of 1.2 metres.
17. Secondary street frontage to be at least $25 \%$ transparent with a
maximum height of 18 metres. ,
8. Fencing to all side and rear boundaries to be a maximum height of 1.8 9. Park front fencing to be at least $50 \%$ transparent with a maximum height of 1.8 metres.
suilding Design
20. All dwellings are to have a window or balcony from a habitable room
overlooking the street and/or private open space
21. Garages must not project forward of the front building facade.
22. Garage door width is to be a maximum of 6 metres or $50 \%$ of the width of lot at the garage setback facade whichever is the lesser (except rear lane dwelling).
be screened from view.
24. A directly facing habitable room window within 3 metres of
neighbouring dwelling. park or footpath must have
neighbouring dwelling, park or footpath must have
a. A fixed obscure glazing in part of the window below 1.5 metres
above floor levels; or
b. A privacy screen that covers a minimum of $50 \%$ of the window view.
25. Where a direct view exists int the private open space of an
adjoining dwelling, the outlook from windows, stairwells, terraces
adjoining dwelling, the outlook from windows, stairwells, terraces, decks
and other private, communal or public areas, is obscured or screened by privacy screens, with maximum permeability of $50 \%$. Definition
Building Height
means the vertical distance between natural surface level of the ground and the apex of a building's roof, but not including antennas or flues.
Secondary Street Frontage
is the lot boundary with the greater length
Site Cover
the proportion of the site covered by a building(s), structure(s) attached to th building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.

The term does not include:

1. any structure or part thereof included in a landscaped open space
area such as a gazebo or shade structure
2.eaves, screens and sun shading devices.

Setbacks to PMT sites are to be in accordance with any easement requirements

| PLAN OF DEVELOPMENT |  |  |  |  |  |  |  |  |  |  |  |  |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: |
|  | $\begin{aligned} & \text { Terrace } \\ & \text { Lot } \end{aligned}$ |  | $\begin{gathered} \text { Cottage } \\ \text { Lot } \end{gathered}$ |  | $\begin{aligned} & \text { Villa } \\ & \text { Lot } \end{aligned}$ |  | $\begin{aligned} & \text { Premium Villa } \\ & \text { Lot } \end{aligned}$ |  | $\begin{gathered} \text { Courtyard } \\ \text { Lot } \\ \hline \end{gathered}$ |  | $\begin{gathered} \text { Duplex } \\ \text { Lot } \end{gathered}$ |  |
|  | $\begin{array}{\|l\|l\|l\|l\|l\|l\|l\|l\|l\|l\|l\|l\|l\|l\|l\|l\|l\|l\|} \hline \text { Floond } \end{array}$ | $\begin{aligned} & \text { R} \\ & \text { First } \end{aligned}$ | $\begin{gathered} \text { Ground } \\ \text { Floor } \end{gathered}$ | $\begin{array}{\|l\|l\|} \hline \text { Firist } \\ \text { Filoor } \end{array}$ | $\begin{array}{\|c\|c\|} \hline \text { Ground } \\ \text { Floor } \end{array}$ | $\begin{aligned} & \text { R} \\ & \text { First } \end{aligned}$ | $\begin{aligned} & \text { Ground } \\ & \text { Flioor } \end{aligned}$ | $\begin{array}{\|l\|l\|} \hline \text { Firist } \\ \text { Filoor } \end{array}$ | Ground Floor | $\begin{gathered} \text { Firist } \\ \text { Filoor } \end{gathered}$ | Ground Floor | $\begin{array}{\|c} \hline \text { First } \\ \text { Filor } \end{array}$ |
| Primary Frontage | 2.5 | 2.5 | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 0.0 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback |  |  |  |  |  |  |  |  |  |  |  |  |
| Built to boundary | 0.0 | 0.0 | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 | 1.5 | 1.5 |
| Secondary Lane | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 1.0 | 1.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 1.0 | 1.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 | 1.5 | 1.5 |
| Rear Setback |  |  |  |  |  |  |  |  |  |  |  |  |
| Rear Boundary | 0.0 | 0.0 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Stle Cover |  |  |  |  |  |  |  |  |  |  |  |  |
|  | 70 |  | 65 |  | 65 |  | 60 |  |  |  | 60 |  |

Legend
.-.n......." BuITTTO BoUNDARY wall - bulling envelope - stage boundary

- inolicative open space

secondaAr Lane
Lot trpology
TERBacE
cottage lot viLa $\square$ premum villa ${ }^{\text {COURTTYARO LOT }}$

1. All development is to be undertaken in accordance with the developmen
2. The maximum height of the building shall not exceed 9 metres.

Setbacks
3. Setbacks are as per the Plan of Development Table unless otherwise noted on the Building Envelope Plan.
4. Setbacks are measure to the wall of the dwelling or edge of balcony
5. The location of built to boundary walls are nominated on the Plan of
$\qquad$
6. Where built to boundary walls are not implemented side setbacks shal be adopted in accordance with the Plan of Development Table.
7.Maximum length of built to boundary wall shall be $75 \%$ of the boundary length and have a maximum height of 4 metres.
Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of $75 \%$ of the boundary length and a maximum height of $9 m$
on boundaries shared with another Terrace and Premium Terrace lot.
8. All exposed sections of built-to-boundary walls are to be finished with
quality cladding complimentary to the overall home design.
9. Eaves, hoods, screens, and architectural elements may extend 1 metre within nominated setback or to a minimum of 450 mm from the boundary, whichever is the lesser (excepp for builit to boundary walls). Gutters and
downipes must no extend past the property boundary.
Parking and Driveways
10. A minimum of 2 car spaces per dwelling, at least 1 of which is
enclosed.
11. There is to be a maximum of 1 driveway per dwelling except for corn lots.
12. Direct car access for Terrace and Premium Terrace Lots are to locate

Site Cover and Amenity
13. Site cover is as per the Plan of Development Table
14. (a) Private open space accessible from the ground floor must not
less than 15 sqa w with a minimum dimension of 3 metres
(b) Patios and covered outdoor living spaces or re
included in the private open space requirements.
.
15. Dwelings with their main living above ground must have a minimum
area of private open space of at least
a. $8 \mathrm{sqm} / 1$ bedroom with a minimum dimension of 2 metres
b. 12 sqm $/ 2$ bedroom with a minimum dimension of 2.5 metres
c. $15 \mathrm{sqm} / 3$ bedroom with a minimum dimension of 3 metres

Fencing
maxim Pry street frontage fencing to be minimum $50 \%$ transparent with a 17.
17. Secondary street frontage to be at least $25 \%$ transparent with a
maximum height of 18 metres.
metres.
9. Park front fencing to be at least $50 \%$ transparent with a maximum height of 1.8 metres

## uilding Design

20. Al dwellings are to have a window or balcony from a habitable room overlooking the street and/or private open space
21. Garages must not project forward of the front building facade.
22. Garage door width is to be a maximum of 6 metres or $50 \%$ of the width of lot at the garage setback facade whichever is the lesser (except rear lane dwelling)
23. Refuse bins are to be screened from view.
24. A directly facing habitable room window within 3 metres of
neighbouring dwelling, park of footpath must have
A. A fixed obscure glazing in part of the window below 1.5 metres above floor levels; or
b. A privacy screen that covers a minimum of $50 \%$ of the window view. 25. Where a direct view exists into the private open space of an adjoining dwelling, the outlook from windows, stairwells, terraces, decks
and other private, communal or public areas, is obscured or screened by privacy screens, with maximum permeability of $50 \%$. Definition
means the vertical distance between natural surface level of the ground and he apex of a building's roof, but not including antennas or flues.
Secondary Street Frontage
is the lot boundary with the greater length
Site Cover
the proportion of the site covered by a building(s), structure(s) attached to th building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.

The term does not include.

1. any structure or part thereof included in a landscaped open spac
area such as a gazebo or shade structure
2.eaves, screens and sun shading devices.

Setbacks to PMT sites are to be in accordance with any easement requirements

| PLAN OF development |  |  |  |  |  |  |  |  |  |  |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: |
|  | $\begin{aligned} & \text { Terrace } \\ & \text { Lot } \end{aligned}$ |  | $\begin{aligned} & \text { Cottage } \\ & \text { Lot } \end{aligned}$ |  | Villa <br> Lot |  | Premium VillaLot |  | Courtyard |  |
|  | Ground Floor | First <br> Floor | Ground Floor | $\begin{array}{\|c} \text { Ferist } \\ \text { Filoor } \end{array}$ | Ground Floor | $\begin{aligned} & \text { First } \\ & \text { Filoor } \end{aligned}$ | Ground Floor | $\begin{array}{\|l\|l\|} \hline \text { First } \\ \text { Floor } \end{array}$ | Ground Floor | First <br> Floor |
| Primary Frontage | 2.5 | 2.5 | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 0.0 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Stite Sttback |  |  |  |  |  |  |  |  |  |  |
| Built to boundary | 0.0 | 0.0 | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 1.0 | 1.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 1.0 | 1.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback |  |  |  |  |  |  |  |  |  |  |
| Rear Boundary | 0.0 | 0.0 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover |  |  |  |  |  |  |  |  |  |  |
|  |  |  | 65 |  |  |  | 60 |  |  |  |

Legend "-.........". вult to boundaAr wall $\square$ STAGE BoUndary - indicative open space

* acoustic constrants - - secondary lane Lot typologr

| terrace |
| :---: |
| cottage lot |
| VILA |
| Premum vila |
| courtara lot |

2. The maximum height of the building shall not exceed 9 metres.

Setbacks
3. Setbacks are as per the Plan of Development Table unless onemise noted on the Building Envelope Plan.
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5. The location of built to boundary walls are nominated on the Plan of Development.
6. Where built to boundary walls are not implemented side setbacks shall be adopted in accordance with the Plan of Development Table.
7.Maximum length of built to boundary wall shall be $75 \%$ of the boundary ${ }^{\text {length }} \mathrm{OR}$
Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of $5 \%$ of the biundary length and a maximum height of 9 m
8. All exposed sections of built-to-boundary walls are to be finished with quality cladding complimentary to the overall home design.
9. Eaves, hoods, screens, and architectural elements may extend 1 metre
within nominated setback or to a minimum of 450 mm from the boundary, which nominated setback or to a minimum of 450 mm from the boundary, downpipes must no extend past the property boundary.
Parking and Driveways
10. A minimum of 2 car spaces per dwelling, at least 1 of which is
enclosed.
11. There is to be a maximum of 1 driveway per dwelling except for corne lots.
2. Direct car access for Terrace and Premium Terrace Lots are to locat

保
Site Cover and Amenity
13. Site cover is as per the Plan of Development Table
14. (a) Private open space accessible from the ground floor must not be
less than 15sqm with a minimum dimension of 3 metres.
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included in the private open space requirements.
15. Dwellings with their main living above ground must have a minimum
area of private open space of at least
a. $8 \mathrm{sqm} / 1$ bedroom with a minimum dimension of 2 metres
b. $12 \mathrm{sqm} / 2$ bedroom with a minimum dimension of 2.5 metre
c. $15 \mathrm{sqm} / 3$ bedroom with a minimum dimension of 3 metres

Fencing
16. Primary street frontage fencing to be minimum $50 \%$ transparent with a ..
. Secondary street frontage to be at least $25 \%$ transparent with a
. Fencing to all side and rear boundaries to be a maximum height of 1.8
Park front fencing to be at least $50 \%$ transparent with a maximum height of 1.8 metres.
Building Design
20. All dwellings are to have a window or balcony from a habitable room
overlooking the street and/or private open space
21. Garages must not project forward of the front building facade.
22. Garage door width is to be a maximum of 6 metres or $50 \%$ of the width of lot at the garage setback facade whichever is the lesser (except rear
lane dweling) lane dwelling)
3. Refuse bins are to be screened from view.
24. A directly facing habitable room window within 3 metres of
neighbouring dwelling, park or footpath must have
a. A fixed obscure glazing in part of the window below 1.5 metres above floor levels; or
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means the vertical distance between natural surface level of the ground and he apex of a building's roof, but not including antennas or flues.
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is the lot boundary with the greater length
Site Cover
he proportion of the site covered by a building(s), structure(s) attached
building(s) and carport(s), calculated to the oter most projections of the building(s) and expressed as a percentage.

The term does not include:

1. any structure or part thereof included in a landscaped open space
,
2.eaves, screens and sun shading devices.

Setbacks to PMT Stites are to be in accordance with any easement requirements

|  | $\begin{gathered} \text { Terrace } \\ \text { Lot } \end{gathered}$ |  | Premium Terrace Lo |  | Premium |  | $\begin{gathered} \text { Courtyard } \\ \text { Lot } \end{gathered}$ |  | $\begin{aligned} & \text { Duplex } \\ & \text { Lot } \end{aligned}$ |  |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: |
|  | Ground <br> Floor | $\begin{gathered} \text { First } \\ \text { Floor } \end{gathered}$ | Ground Floor | $\begin{aligned} & \text { First } \\ & \text { Filoor } \end{aligned}$ | Ground Floor | $\begin{aligned} & \text { Firist } \\ & \hline \end{aligned}$ | $\begin{gathered} \text { Ground } \\ \text { Floor } \end{gathered}$ | First <br> Floor | Ground Floor | First <br> Floor |
| Primary Frontage | 2.5 | 2.5 | 2.5 | 2.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 0.0 | NA | 0.0 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Stite Setback |  |  |  |  |  |  |  |  |  |  |
| Built to boundary | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | NA | ${ }^{0.0}$ | NA | 0.0 | NA |
| Side Boundary | 0.0 | 0.9 | 0.0 | 0.0 | 0.9 | 0.9 | 1.2 | 1.2 | 1.5 | 1.5 |
| Secondary Lane | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 1.0 | 1.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 1.0 | 1.0 | 2.0 | 2.0 | 0.9 | 0.9 | 1.2 | 1.2 | 1.5 | 1.5 |
| Rear Setback |  |  |  |  |  |  |  |  |  |  |
| Rear Boundary | 0.0 | 0.0 | 0.0 | 0.0 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover |  |  |  |  |  |  |  |  |  |  |
| $\begin{aligned} & \text { Site Cover } \\ & \text { (Additional 10\% of site } \\ & \text { cover is allowed for } \\ & \text { porches, patios, and } \end{aligned}$ | 70 |  |  |  | 6 |  | 50 |  | 60 |  |

$\stackrel{\text { LEGEND }}{ }$
........... вultto boundaAy wal

- bullong envelope
- stage boundary

INDCATTV OPEN SPACE
$+\quad$ Acoustic constalnts
$\star$ ACOUSTIC CONSTRAINTS

-     - secondafy Lane

Lot Trpology
$\square$ terrace
PREMUM TERRACE
PREMUM VLLA
courtard Lot
${ }^{\text {CoURTTARD LOT }}$

1. All development is to be undertaken in accordance with the developme
2. The maximum height of the building shall not exceed 9 metres.

Setbacks
3. Setbacks are as per the Plan of Development Table unless otherwise noted on the Building Envelope Plan.
4. Setbacks are measure to the wall of the dwelling or edge of balcony.
5. The location of built to boundary walls are nominated on the Plan of Development.
6. Where built to boundary walls are not implemented side setbacks shal be adopted in accordance with the Plan of Development Table.
7. Maximum length of built to boundary wall shall be $75 \%$ of the boundary length and have a maximum height of 4 metres
OR
Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of $75 \%$ of the boundary length and a maximum height of 9 m
on boundaries shared with another Terrace and Premium Terrace lot.
8. All exposed sections of built-to-boundary walls are to be finished with quality cladding complimentary to the overall home design.
9. Eaves, hoods, screens, and architectural elements may extend 1 metre within nominated setback or to a minimum of 450 mm from the boundary,
whicheveris is the lesser (except for builit to boondary walls). Gutters and
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Parking and Driveways
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55. Primary street frontage fencing to be minimum $50 \%$ transparent with a maximum height of 1.2 metres.
16. Secondary street frontage to be at least $25 \%$ transparent with a maximum height of 1.8 metres.
metres.
menc metres.
18. Park front fencing to be at least $50 \%$ transparent with a maximum height of 1.8 metres.

## Building Design

19. Al dwellings are to have a window or balcony from a habitable room
overlooking the street and/or private open space
20. Garages must not project forward of the front building facade.
21. Garage door width is to be a maximum of 6 metres or $50 \%$ of the width
of lotat the garage setback facade whichever is the lesser (except rear of lot at the garage setback facade whichever is the lesser (except rear lane dwelling)
22. Refuse bins are to be screened from view.
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neighbouring dwelling, park or footpath must have
A fixed obsccre glazi of in part of the window below 1.5 metres above floor levels; or
b. A privacy screen that covers a minimum of $50 \%$ of the window view 24. Where a direct view exists into the private open space of an adjoining dwelling, the outlook from windows, stairwells, terraces, decks
and other private, communal or public areas, is obscured or screened by privacy screens, with maximum permeability of $50 \%$.
24. A minimum of 2 car spaces per dwelling, at least 1 of which
enclosed.
25. There is to be a maximum of 1 driveway per dwelling except for corner $\frac{\text { Definition }}{}$
26. Direct car access for Terrace and Premium Terrace Lots are to locat
as per the location shown on the Plan of Development.
Site Cover and Amenity
27. Site cover is as per the Plan of Development Table
28. (a) Private open space accessible from the ground floor must not be
less than 15 sqam with a minimum dimension of 3 metres.
(b) Patios and covered outdoor living spaces or recreation areas are
included in the private open space requirements.
29. Dwelings whe their main Iving above ground must have a minimum
a. $8 \mathrm{sam} / 1$ bedroom with a minimum dimension of 2 metres
b. $12 \mathrm{sqm} / 2$ bedroom with a minimum dimension of 2.5 metres
c. 15 sqm $/ 3$ bedroom with a minimum dimension of 3 metres

Building Heig
means the verical distance between natural surface level of the ground and he apex of a building's roof, but not including antennas or flues.
Secondary Street Frontage
is the lot boundary with the
is
ste Cover
the proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the

The term does not includ

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2. eaves, screens and sun shading devices.

Setbacks to PMT sites are to be in accordance with any easement reauiremens

| PLAN OF development |  |  |  |  |  |  |  |  |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: |
|  | CottageLot |  | $\begin{gathered} \text { Villa } \\ \text { Lot } \end{gathered}$ |  | Premium |  | Courtyard |  |
|  |  | $\begin{aligned} & \text { First } \\ & \text { Floor } \end{aligned}$ | $\begin{array}{\|l\|l\|} \hline \text { Ground } \\ \text { Filoor } \end{array}$ | $\begin{array}{\|l\|l\|} \hline \text { First } \\ \text { Floor } \end{array}$ |  | $\begin{gathered} \text { Firist } \\ \text { Filoor } \end{gathered}$ | $\begin{array}{\|c\|c\|c\|c\|c\|c\|c\|c\|c\|} \hline \text { Ground } \\ \text { Floun } \end{array}$ | $\begin{aligned} & \text { First } \\ & \text { Floor } \end{aligned}$ |
| Primary Frontage | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback |  |  |  |  |  |  |  |  |
| Built to boundary | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback |  |  |  |  |  |  |  |  |
| Rear Boundary | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Stite Cover |  |  |  |  |  |  |  |  |
| (Additional 10\% of site cover is allowed for porches, patios, and covered outdoors | 65 |  | 65 |  | 60 |  | 50 |  |

\footnotetext{
$\stackrel{\text { Legend }}{\ldots . . . . . . . . . . ~}$
..........". BuLT To Boundary wall

-     - bulbong envelope
- stage buundary
- inolcative open space
* acoustic Constrants
-     - rear terrace lot access
-     - secondafy lane

Lot trpology


Cluevr
AVJennings
1


SSuve
PLAN OF DEVELOPMENT - STAGE 2B

## Fencing

15. Primary street frontage fencing to be minimum $50 \%$ transparent with a maximum height of 1.2 metres.
16. Secondary street frontage to be at least $25 \%$ transparent with a
maximum height of 1.8 metres.
17. Fencing to all side and rear boundaries to be a maximum height of 1.8
18. Park front fencing to be at least $50 \%$ transparent with a maximum height of 1.8 metres.
Building Design
19. All dwellings are to have a window or balcony from a habitable room overlooking the street and/or private open space.
20. Garages must not project forward of the front building facade
21. Garage door width is to be a maximum of 6 metres or $50 \%$ of the width of lot at the garage setback facade whichever is the lesser (except rear ne dwelling)
22. Refuse bins are to be screened from view,
23. A directly facing habitable room window within 3 metres of neighbouring dwelling, park or footpath must have
a. A fixed obscure glazing in part of the window below 1.5 metres a. A fixed obscure glazing
b. A privacy screen that covers a minimum of $50 \%$ of the window
24. Where a direct view exists into the private open space of an
adjoining dwelling, the outlook from windows, stairwells, terraces, decks privacy screens, with maximum permeability of $50 \%$.
25. A minimum of 2 car spaces per dwelling, at least 1 of which is
26. A minimum of 2 car spaces per dweling, at east 1 of which is
enclosed.
${ }^{\text {lots. }}$
Pefinition
Building Height
27. Direct car access for Terrace and Premium Terrace Lots are to locate per the location shown on the Plan of Development.
Site Cover and Amenity
28. Site cover is as per the Plan of Development Table.
29. (a) Private open space accessible from the ground floor must not be (b) Pa (b) Patios and covered outdoor living spaces or recreation areas are
included in the private open space requirements.
luced in the privale open space rea
30. Dwelings whe of or mivate open space of at least ground must have a minimum . $\mathrm{pam} / 1$ b space of at teas
a. $8 \mathrm{sqa} / 1$ bedroom with a minimum dimension of 2 metres
b. $12 \mathrm{sqm} / 2$ bedroom with a minimum dimension of 2.5 metres
c. $15 \mathrm{sam} / 3$ bedroom with a minimum dimension of 3 metres
means the vertical distance between natural surface level of the
the apex of a building's roof, but not includuing antennas or flue
Secondary Street Frontage
is the lot boundary with the greater length
Site Cover
the proportion of the site covered by a building(s), structure(s) attached to to building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.
The term does not include
31. any structure or part thereof included in a landscaped open space are
such as a gazebo or shade structure
. eaves, screens and sun shading devices

Pursuant to the Economic
Development Act 2012, this plan
forms part of the MEDQ
Delegate's approval for
Approval No.: 2834/2019/MAPDA/ B
Date: 3 August 2022

notes

1. All development is to be undertaken in accordance with the development
2. The maximum height of the building shall not exceed 9 metres.

Setbacks
3. Setbacks are as per the Plan of Development Table unless otherwise noted on the Building Envelope Plan.
4. Setbacks are measure to the wall of the dwelling or edge of balcony.
5. The location of built to boundary walls are nominated on the Plan of Development.
6. Where built to boundary walls are not implemented side setbacks shal be adopted in accordance with the Plan of Development Table.
7. Maximum length of built to boundary wall shall be $75 \%$ of the boundary length and have a maximum height of 4 metres.
Iengh
OR
Built to
Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of $75 \%$ of the boundary length and a maximum height of $9 m$
on boundaries shared with another Terrace and Premium Terrace lot
8. All exposed sections of built-to-boundary walls are to be finished with a quality cladding complimentary to the overall home design.
9. Eaves, hoods, screens, and architectural elements may extend 1 metre within nominated setback or to a minimum of 450 mm from the boundary, whichever is the lesser (except for built to boundary walls). Gutters and downpipes must no extend past the property boundary.
Parking and Driveways
10. A minimum of 2 car spaces per dwelling, at least 1 of which is
enclosed.
11. There is to be a maximum of 1 driveway per dwelling except for corne ${ }^{\text {lots. }}$
12. Direct car access for Terrace and Premium Terrace Lots are to loc as per the location shown on the Plan of Development.
Site Cover and Amenity
13. Site cover is as per the Plan of Development Table
14. (a) Private open space accessible from the ground floor must not be
less than 15 sam with a minimum dimension of 3 metres.
(b) Patios and covered outtoor living spaces or recreation areas are
inclus
15. Dwelings with their main living above ground must have a minimum
area of private open space of at least
area of private open space of at least
a. $8 \mathrm{sam} / 1$ bedroom with a minimum dimension of 2 metres
b. 12 sqm $/ 2$ bedroom with a minimum dimension of 2.5 metres
$15 \mathrm{sam} / 3$ bedroom with a minimum dimension of 3 metres
PLAN OF DEVELOPMENT

|  | Cottage |  | $\begin{gathered} \text { Villa } \\ \text { Lilat } \end{gathered}$ |  | Premium |  | Courtyard |  |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: |
|  | Ground Floor | First Floor | Ground Floor | $\begin{aligned} & \text { First } \\ & \text { FIoror } \end{aligned}$ | Ground Floor | First Floo | Ground Floor | $\begin{array}{\|l\|l\|} \hline \text { Firist } \\ \text { Floor } \end{array}$ |
| Primary Frontage | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback |  |  |  |  |  |  |  |  |
| Built to boundary | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback |  |  |  |  |  |  |  |  |
| Rear Boundary | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover |  |  |  |  |  |  |  |  |
| Site Cove (Additional 10\% of site cover is allowed for porches, patios, and covered outdoors | 65 |  | 65 |  | 60 |  | 50 |  |

Fencing
maximum street frontage fencing to be minimum $50 \%$ transparent with a
Th. Serth 1.2 metres.
. Secondary street frontage to be at least $25 \%$ transparent with a
maximum height of 1.8 metres
metres.
me lo side and rear boundaries to be a maximum height of 1.8
Park front fencing to be at least $50 \%$ transparent with a maximum height of 1.8 metres.

## Bilding Desig

20. All dwellings are to have a window or balcony from a habitable roo
overlooking the street andlor private open space.
21. Garages must not project forward of the front building facade.
22. Garage door width is to be a maximum of 6 metres or $50 \%$ of the width of lot at the garage setback facade whichever is the lesser (except rear lane dwelling)
23. Refuse bins are to be screened from view.
24. A directly facing habitable room window within 3 metres of a
neighbouring dwelling, park or footpath must hav
a. A fixed obscure glazing in part of the window below 1.5 metres above floor levels; o
b. A privacy screen that covers a minimum of $50 \%$ of the window view. 25. Where a direct view exists into the private open space of an adjoining dwelling, the outlook from windows, stairwells, terraces, decks privacy screens, with maximum permeability of $50 \%$. Definition
Building Heign
means the vertical distance between natural surface level of the ground and the apex of a building's roof, but not including antennas or flues.
Secondary Street Frontage
is the lot boundary with the greater length
Site Cover
the proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.

The term does not include.

1. any structure or part thereof included in a landscaped open space
. or shade structure
2.eaves, screens and sun shading devices.

## Legend <br> . bult to boundary wall <br> - - bullong envelope <br> - indicative open space <br> * Acoustic constrants <br> - - reaconvoary lane <br> 

All develon approval.
The maximum height of the building shall not exceed 9 metres.

## Setbacks

3. Setbacks are as per the Plan of Development Table unless otherwise noted on the Building Envelope Plan.
4. Setbacks are measure to the wall of the dwelling or edge of balcony
5. The location of built to boundary walls are nominated on the Plan of Development
6. Where built to boundary walls are not implemented side setbacks shal
be adopted in accordance with the Plan of Development Table
be adopted in accordance with the Plan of Development Table.
. Maximum length of built to boundary wall shall be $75 \%$ of the boundary or
Built
maximum to 7 any wall for Terrace and Premium Terrace lots shall be a maximum of $75 \%$ of the boundary length and a maximum height of 9 m
. All exposed sections of built-to-boundary walls are to be finished with a
quality cladding complimentary to the overall home design.
7. Eaves, hoods, screens, and architectural elements may extend 1 metre
within nominated setback or to a minimum of 450 mm from the boundary, whichever is the lesser (except for built to boundary walls). Gutters and downpipes must no extend past the property boundary.
Parking and Driveways
8. A minimum of 2 car spaces per dwelling, at least 1 of which is
enclosed.
lots.
9. Direct car access for Terrace and Premium Terrace Lots are to locate
as per the location shown on the Plan of Development.
Site Cover and Amenty
10. Site cover is as per the Plan of Development Table.
11. (a) Private open space accessible from the ground floor must not be less than 15 sqm with a minimum dimension of 3 metres.
ncluded in the private open space ereauirement
Dwellings with their main liwing abothrnd area of private open space of a teast
a. $8 \mathrm{sqm} / 1$ bedroom with a minimum dimension of 2 metres
b. $12 \mathrm{sgm} / 2$ bedroom with a minimum dimension of 2.5 metres
c. $15 \mathrm{sam} / 3$ bedroom with a minimum dimension of 3 metres
maximum height of 1.2 metres.
12. Secondary street frontage to be at least $25 \%$ transparent with a maximum height of 1.8 metres.
13. Fencing to all side and rear boundaries to be a maximum height of 1.8 metres.
Park front fencing to be at least $50 \%$ transparent with a maximum height of 1.8 metres.
Building Design
14. All dwellings are to have a window or balcony from a habitable room overlooking the street and/or private open space.
15. Garages must not project forward of the front building facade.
16. Garage door width is to be a maximum of 6 metres or $50 \%$ of the width of lot at the garage setback facade whichever is the lesser (except rear ane dwelling).
17. Refuse bins are to be screened from view
18. A directly facing habitable room window within 3 metres of a
neighbouring dweling, park or footpath must have
a. A fixed obscure glazing in part of the window below 1.5 metres
b. A privacy screen that covers a minimum of $50 \%$ of the window view.
19. Where a direct view exists into the private open space of an
adjoining dwelling, the outlook from windows, stairwells, terraces, decks and other private, communal or public areas, is obscured or screened by ivacy screens, with maximum permeability of $50 \%$.

## Definition

Building Height
eans the vertical distance between natural surface level of the ground and e apex of a building's roof, but not including antennas or flues.
econdary Street Frontage
is the lot boundary with the greater length
e proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the .
The term does not include:
1 any structure or part thereof included in a landscaped open space rea such as a gazebo or shade structure
2.eaves, screens and sun shading devices.

[^0]

PLAN OF DEVELOPMENT - STAGE 3C

PLAN OF DEVELOPMENT

|  | $\begin{gathered} \text { Cottage } \\ \text { Lot } \end{gathered}$ |  | $\begin{gathered} \text { Villa } \\ \text { Lot } \\ \text { Lot } \end{gathered}$ |  | Premium |  | Courtyard |  |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: |
|  | Ground <br> Floor | $\begin{aligned} & \text { First } \\ & \text { Filor } \end{aligned}$ | Ground Floor | $\begin{aligned} & \text { First } \\ & \text { Fior } \\ & \text { For } \end{aligned}$ | Ground Floor | $\begin{gathered} \text { First } \\ \text { Floor } \end{gathered}$ | Ground Floor | $\begin{aligned} & \text { First } \\ & \text { Filor } \end{aligned}$ |
| Primary Frontage | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback |  |  |  |  |  |  |  |  |
| Built to boundary | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback |  |  |  |  |  |  |  |  |
| Rear Boundary | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover |  |  |  |  |  |  |  |  |
|  | 65 |  | 65 |  |  |  | 50 |  |

LEGEND
n......... bullt to boundary wall
......n...n Bult to boundary wall

- stage boundary
- inolcative open spac
* acoustic constralints
-     - rear terrace lot access
-     - SECONDARY LANE


10

لهطا

|  | Premium Terrace Lot |  | $\begin{gathered} \text { Cottage } \\ \text { Lot } \end{gathered}$ |  | VillaLot |  | Premium |  | $\begin{aligned} & \text { Courtyard } \\ & \text { Lot } \end{aligned}$ |  |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: |
|  | Ground <br> Floor | $\begin{array}{\|c} \text { Firist } \\ \text { Filoor } \end{array}$ | Ground Floor | $\begin{gathered} \text { Firist } \\ \text { FIloor } \end{gathered}$ | Ground <br> Floor | $\begin{aligned} & \text { Firist } \\ & \text { Filor } \end{aligned}$ | Ground | $\begin{aligned} & \text { Firist } \\ & \text { FFloor } \end{aligned}$ | Ground | $\xrightarrow{\text { First }}$ Florr |
| Primary Frontage | 2.5 | 2.5 | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 0.0 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback |  |  |  |  |  |  |  |  |  |  |
| Built to boundary | 0.0 | 0.0 | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.0 | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 2.0 | 2.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback |  |  |  |  |  |  |  |  |  |  |
| Rear Boundary | 0.0 | 0.0 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover |  |  |  |  |  |  |  |  |  |  |
| Site Cover (Addltional 10\% of site cover is allowed for <br> porches, patios, and | 70 |  | 65 |  | 65 |  |  |  | 50 |  |

Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ
Delegate's approval for

Approval No.: 2834/19/MAPDA/B
Date: 3 May 2022

NOTES
General
-
approval.
$\rightarrow$ heid of he buid shal 10 metres Setbacks
3. Setbacks are as per the Plan of Development Table unless otherwise noted on the Building Envelope Pla
4. Setbacks are measure to the wall of the dwelling or edge of balcony.
5. The location of built to boundary walls are nominated on the Plan of Development.
6. Where built to boundary walls are not implemented side setbacks shal
be adopted in accordance with the Plan of Develoment
be adopted in accordance with the Plan of Development Table
7. Maximum length of built to boundary wall shall be $75 \%$ of the boundary
length and have a maximum height of 4 metres length
OR
Built to boundary wall for Terrace and Premium Terrace lots shall be a maximum of $75 \%$ of the boundary length and a maximum height of 9 m
.
quality cladding complimentary to the overall home design.
9. Eaves, hoods, screens, and architectural elements may extend 1 metre
within nominated setback or to a minimum of 450 mm from the boundary whichever is the lesser (except for built to boundary walls). Gutters and downpipes must no extend past the property boundary.
Parking and Driveways
10. A minimum of 2 car spaces per dwelling, at least 1 of which is enclosed.
There is to be a maximum of 1 driveway per dwelling except for corner
12. Direct car access for Terrace and Premium Terrace Lots are to locate
as per the location shown on the Plan of Development.
Site Cover and Amenity
13. Site cover is as per the Plan of Development Table.
14. (a) Private open space accessible from the ground floor must not be less than 15 sam with a minimum dimension of 3 metres.
(b) Patios and covered outdoor living spaces or rezene
included in the private
15. Dwellings with their main living above ground must have a minimum
a. $8 \mathrm{sqm} / 1$ bedroom with a minimum dimension of 2 metres
b. $12 \mathrm{sam} / 2$ bedroom with a minimum dimension of 2.5 metres
c. $15 \mathrm{sam} / 3$ bedroom with a minimum dimension of 3 mes

Fencing
6. Primary street frontage fencing to $50 \%$ transparent with maximum height of 1.2 metres.
17. Secondary street frontage to be at least $25 \%$ transparent with maximum height of 1.8 metres.
18. Fencing to all side and rear boundaries to be a maximum height of 1.8 metres.
19. Park front fencing to be at least $50 \%$ transparent with a maximum height of 1.8 metr
Building Design
20. All dwellings are to have a window or balcony from a habitable roo overlooking the street and/or private open space.
21. Garages must not project forward of the front building facade.
22. Garage door width is to be a maximum of 6 metres or $50 \%$ of the width of lot at the garage setback facade whichever is the lesser (except rear lane dwelling).
use bins are to be screened from view.
24. A directly facing habitable room window within above floor levels; 0
b. A privacy screen that covers a minimum of $50 \%$ of the window view 25. Where a direct view exists into the private open space of an adjoining dwelling, the outlook from windows, stairwells, terraces, decks and other private, communal or public areas, is obscured or screened by

## Definition

Building Height
ans the vertical distance between natural surface level of the ground and he apex of a building's roof, but not including antennas or flues
Secondary Street Frontage
is the lot boundary with the greater length
site Cover
ef the site covered by a building(s) structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage
The term does not include:

1. any structure or part thereof included in a landscaped open space rea such as a gazebo or shade structure
2.eaves, screens and sun shading devices.
$\qquad$
legend
.......... BuLTto boundary WaL

-     - bulloing envelop
- STAGE BOUNDAR
- indicative open space
* Acoustic constralits
-     - scomary lane



PLAN OF DEVELOPMENT - STAGE 3D
Building Design
20. All dwellings are to have a window or balcony from a habitable room
overlooking the street and/or private open space.
21. Garages must not project forward of the front building facade.
22. Garage door width is to be a maximum of 6 metres or $50 \%$ of the width
of lot at the garage setback facade whichever is the lesser (except rear
of one dwelling).
lat
23. Refuse bins are to be screened from view.
24. A directly facing habitable room window within 3 metres of a
neighbouring dwelling, park or footpath must have
a. A fixed obscure glazing in part of the window below 1.5 metres
above floor levels; or
b. A privacy screen that covers a minimum of $50 \%$ of the window view.
25. Where a direct view exists into the private open space of an
adjoining dwelling, the outlook from windows, stairwells, terraces, decks
adjoining dwelling, the outlook from windows, stairwells, terraces, decks
and other private, communal or pubbic areas, is obscured or screened by
privacy screens, with maxim permeability of $50 \%$
privacy screens, with maximum permeabiilty of $50 \%$.
10. A minimum of finition Building Height
eeans the vertical distance between natural surface level of the ground and the apex of a building's roof, but not including antennas or flues.
Secondary Street Frontage
is the lot boundary with the greater length
12. Direct car access for Terrace and Premium Terrace Lots are to locate
as per the location shown on the Plan of Development.
Site Cover and Amentity
the proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.
The term does not include:

1. any structure or part thereof included in a landscaped open space rea such as a gazebo or shade structure
2.eaves, screens and sun shading devices.

Pursuant to the Economic
Development Act 2012, this plan Delegate's approval for

Approval No.: 2834/2019/MAPDA/
Date: 21 October 2022

13. Site cover is as per the Plan of Development Table. 14. (a) Private open space accessible from the ground floo
less than 15 sqm with a minimum dimension of 3 metres.
(b) Patios and covered outdoor living spaces or recreation areas are included in the private open space requirements.
15. Dwellings with their main living above ground must have a minimum
a. $8 \mathrm{sqm} / 1$ bedroom with a minimum dimension of 2 metres
b. 12 sqm $/ 2$ bedroom with a minimum dimension of 2.5 metres
c. 15 sam $/ 3$ bedroom with a minimum dimension of 3 metres
Sethacks to PMT sites are to be in accordance with any easement reauirements

## PLAN OF DEVELOPMENT

|  | $\begin{gathered} \text { Cottage } \\ \text { Lot } \end{gathered}$ |  | Villa <br> Lot |  | PremiumVilla Lot |  | CourtyardLot |  |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: |
|  | Ground Floa | First Floor | Ground <br> Floor | $\begin{array}{\|l\|l\|} \hline \text { First } \\ \text { Fior } \end{array}$ | Ground Floor | $\begin{aligned} & \text { F} \\ & \text { Fisst } \end{aligned}$ | Ground |  |
| Primary Frontage | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback |  |  |  |  |  |  |  |  |
| Built to boundary | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback |  |  |  |  |  |  |  |  |
| Rear Boundary | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover |  |  |  |  |  |  |  |  |
| Site Cover (Additional 10\% of site cover is allowed for porches, patios, and |  |  | 65 |  | 60 |  | 50 |  |

Legend
.......... Bult to boundary wall - - bulloing envelope

- stage boundary
- indicative open space
* acoustic constraints - - secondary lane

Lot typology

proulec tame
BINNIES
ROAD, RIPLEY $\stackrel{\text { doamme }}{\text { POD }}$ - STAGE 3D





All development is to endertake in accordance wis
2. The maximum height of the building shall not exceed 9 metres.

Setbacks
ent Table unless otherwis noted on the Building Envelope Pla
4. Setbacks are measure to the wall of the dwelling or edge of balcony
5. The location of built to boundary walls are nominated on the Plan of Development.
6. Where built to boundary walls are not implemented side setbacks shall
be adopted in accordance with the Plan of Development Table.
. Maximum length of built to boundary wall shall be $75 \%$ of the boundary or Built to
Buint boundary wall for Terrace and Premium Terrace lots shall be a maximum of $75 \%$ of the boundary length and $a$ maximum height of 9 m
. All exposed sections of built-to-boundary walls are to be finished with a
quality cladding complimentary to the overall home design.
9. Eaves, hoods, screens, and architectural elements may extend 1 metre
within nominated setback or to a minimum of 450 mm from the boundary whichever is the lesser (except for built to boundary walls). Gutters and downipes must no extend past the property boundary.
Parking and Driveways
10. A minimu
enclosed.
car spaces per dwelling, at least 1 of which is enclose lots. as per the location shown on the Plan of Development. Sile Cover and Amenit
33. Site cover is as per the Plan of Development Table.
4. (a) Private open space accessible from the ground floor must not less than 15 sqm with a minimum dimension of 3 metres.
(b) Patios and covered outdoor living spaces or

Dwellings with their main living above
area of private open space of at least
a. 8 sam $/ 1$ bedroom with a minimum dimension of 2 metres
b. $12 \mathrm{sam} / 2$ bedroom with a minimum dimension of 2.5 metres
c. $15 \mathrm{sam} / 3$ bedroom with a minimum dimension of 3 metres

Fencing
6. Primary street frontage fencing to be minimum $50 \%$ transparent with maximum height of 1.2 metres.
17. Secondary street frontage to be at least $25 \%$ transparent with a maximum height of 1.8 metres.
18. Fencing to all side and rear boundaries to be a maximum height of 1.8 metres.
heigh front fencing to be at least $50 \%$ transparent with a maximum
suiling Design
20. All dwellings are to have a window or balcony from a habitable room overlooking the street and/or private open space.
21. Garages must not project forward of the front building facade.
22. Garage door width is to be a maximum of 6 metres or $50 \%$ of the width of lot at the garage setback facade whichever is the lesser (except rear

Refuse bins are to be screened from view.
24. A directly facing habitable room window within 3 metres of a

Aignoourng dweling, park or footpath must have
a. A fixed obscure glazing in part of the window below 1.5 metres A privacy screen that covers a minimum of $50 \%$ of the window view. 25. Where a direct view exists into the private open space of an
adjoining dweling, the outlook from windows, stairwells, terraces, decks
and other private, communal or public areas, is obscured or screened by
privacy screens, with maximum permeability of $50 \%$.

## Definition

Building Height
the vertical distance between natural suface level of the groud
he apex of a building's roof, but not including antennas or flues.
is the lot boundary with the greater length
he proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the
building(s) and expressed as a percentage. -
The term does not include

1. any structure or part thereof included in a landscaped open space ea such as a gazebo or shade structure
2.eaves, screens and sun shading devices.
$\qquad$

$|$| Pursuant to the Economic |
| :--- |
| Development Act 2012, this plan |
| forms part of the MEDQ |
| Delegate's approval for |
| Approval No.: 2834/2019/MAPDA/ |
| D |
| Date: 21 October 2022 |

proike TMME
BINNIES ROAD, RIPLEY
pramme
POD
STAGE 4A





PLAN OF DEVELOPMENT - STAGE 4A


-     - bulloing envelop
- inolcative open space
* acoustic constraints
-     - rear terrace lot access
-     - secondary lane

LOT TYPOLOGY


Encing
16. Primary street frontage fencin $50 \%$ renserent with maximum height of 1.2 metres.
17. Secondary street frontage to be at least $25 \%$ transparent with a of 1.8 metres
18. Fencing to all side and rear boundaries to be a maximum height of 1.8 metres.
19. Park front fencing to be at least $50 \%$ transparent with a maximum height of 1.8 metres.
Building Design
20. All dwellings are to have a window or balcony from a habitable roo overlooking the street and/or private open space.
21. Garages must not project forward of the front building facade.
22. Garage door width is to be a maximum of 6 metres or $50 \%$ of the width of lot at the garage settack facade whichever is the lesser (except rear lane dwelling).
23. Refuse bins are to be screened from view.
24. A directly facing habitable room window within
neighbouring dwelling, park or footpath must have
a. A fixed obscure glazin
b. A privacy screen that covers a minimum of $50 \%$ of the window view.
25. Where a direct view exists into the private open space of an adjoining dwelling, the outlook from windows, stairwells, terraces, decks and other private, communal or public areas, is obscured or screened by

## Definition

Building Height
eans the vertical distance between natural surface level of the ground and fa building's roof but not including antennas or flues.

Secondary Street Frontage
is the lot boundary with the greater length
Site Cover
of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the

The term does not include:

1. any structure or part thereof included in a landscaped open space ea such as a gazebo or shade structure
2.eaves, screens and sun shading devices.

Setbacks to PMT stites are tobaccordance wany easem


## DIAGRAM OF PADMOUNT SETBACK

IIMENSIONS ARE APPROXIMATE ONLY REFER TO ENERGEX DISTRIBUTION CONSTRUCTION MANUAL FOR DETAILS.

1. All development is to be undertaken in accordance with ine developmet
2. The maximum height of the building shall not exceed 9 metres.
3. Setbacks are as per the Plan of Devolop
noted on the Building Envelope Pla.
4. Setbacks are measure to the wall of the dwelling or edge of balcony.
5. The location of bay
Development.
6. Where built to boundary walls are not implemented side setbacks shal
be adopted in accordance with the Plan of Development Table
7. 

OR
Suilt to boundary wall for Terrace and Premium Terrace lots shall be a
on boundaries shared with another Terrace and Premium Terrace lot.
. Al exposed sections of built-to-boundary walls are to be finished with a
9. Eaves, hoods, screens, and architectural elements may extend 1 metre
within nominated setback or to a minimum of 450 mm from the boundary
whichever is the lesser (except for built to boundary walls). Gutters and downpipes must no extend past the property boundary.
Parking and Driveways
10. A minimum of 2 car spaces per dwelling, at least 1 of which is
11. There is to be a maximum of 1 driveway per dwelling except for corne
12. Direct car access for Terrace and Premium Terrace Lots are to locate
as per the location shown on the Plan of Development.
Site Cover and Amenity
13. Site cover is as per the Plan of Development Table.
14. (a) Private open space accessible from the ground floor must not be less than 15 squ with a minimum dimension of 3 metres.
(b) Patios and covered outdoor living spaces or reci
. Dwellings with inveie open space requirements.
area of private open space of at least
a. $8 \mathrm{sqm} / 1$ bedroom with a minimum dimension of 2 metres
b. $12 \mathrm{sgm} / 2$ bedroom with a minimum dimension of 2.5 metres
c. $15 \mathrm{sqm} / 3$ bedroom with a minimum dimension of 3 metres

| PLAN OF DEVELOPMENT |  |  |  |  |  |  |  |  |  |  |  |  |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: |
|  | $\begin{aligned} & \text { Terrace } \\ & \text { Lot } \end{aligned}$ |  | Terrace Lot |  | $\begin{aligned} & \text { Cottage } \\ & \text { Lot } \end{aligned}$ |  | $\begin{gathered} \text { Villa } \\ \text { Lot } \end{gathered}$ |  | $\begin{aligned} & \text { Premium } \\ & \text { Villa Lot } \end{aligned}$ |  | $\begin{aligned} & \text { Courtyard } \\ & \text { Lot } \end{aligned}$ |  |
|  | Ground Floo | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | $\xrightarrow{\text { Fist }}$ | $\begin{aligned} & \text { Ground } \\ & \text { Floor } \end{aligned}$ | First Floor | Ground Floor | First Floor Flo |
| Primary Frontage | 2.5 | 2.5 | 2.5 | 2.5 | 3.5 | 3.5 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 | 4.0 |
| Garage | 0.0 | NA | 0.0 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA | 5.5 | NA |
| Site Setback |  |  |  |  |  |  |  |  |  |  |  |  |
| Built to boundary | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | NA | 0.0 | NA | 0.0 | NA | 0.0 | NA |
| Side Boundary | 0.0 | 0.9 | 0.0 | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Secondary Lane | 0.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 |
| Secondary Street | 1.0 | 1.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 | 2.0 |
| Park | 1.0 | 1.0 | 2.0 | 2.0 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 0.9 | 1.2 | 1.2 |
| Rear Setback |  |  |  |  |  |  |  |  |  |  |  |  |
| Rear Boundary | 0.0 | 0.0 | 0.0 | 0.0 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| Site Cover |  |  |  |  |  |  |  |  |  |  |  |  |
| Site Cover <br> (Additional 10\% of site porches, patios, and covered outdoors) | 7 |  | 70 |  | 65 |  | 65 |  | 60 | 0 | 50 |  |

$\stackrel{\text { LEGEND }}{\text {..-...... Bult to }}$ boundary wall - - bulloing envelope

- stage boundary
- inolcative open space
* acoustic constraints
-     - rear terrace lot access - - secondary Lane
 LEGEND
LOT TYpologr
premum terrace
cottage lot
VILLA
Premum villa


Proiget Mane
BINNIES ROAD, RIPLEY
${ }^{\text {OpRaMnG}}$ - STAGE 4B



PLAN OF DEVELOPMENT - STAGE 4B


[^0]:    Pursuant to the Economic
    Development Act 2012, this plan forms part of the MEDQ
    Delegate's approval for
    Approval No.: 2834/2019/MAPDA/
    Date: 21 October 2022

